

Village of Deer Park Planning and Zoning Commission Agenda

Monday, March 2, 2026 – 7:00 p.m.

Deer Park Vehe Barn, 23570 W. Cuba Road, Deer Park, Illinois 60010

Pledge of Allegiance

Roll Call and Determination of a Quorum

Approval of Agenda.

Public Comments –Sign-in prior to meeting at podium; 5 minutes time limit per person

Approval of Planning and Zoning Commission Meeting Minutes of December 1, 2025. **Pages 3-5**

Public Hearing: Petitioner of a parcel consisting of 1.2 acres, located at 21980 N. Mayfield Lane, Deer Park, Illinois, to allow a variation from the required setback regulations. **Pages 7-46**

The Applicant requests approval of a zoning variation from Section 158.27(H) of the Village Code, which requires a minimum thirty-foot (30') side-yard setback, to allow a patio to be located approximately eighteen feet (18') from the side property line due to existing site constraints.

Petitioner: Erdmann Exterior Designs (General Contractor)

- a. Open Public Hearing and Establish Quorum
- b. Petitioner Comments
- c. Staff and Commission Questions/Comments
- d. Public Comment
- e. Close Public Comment
- f. Commission Motion to approve/deny/continuation, a zoning variation from Section 158.27(H) of the Village Code, which requires a minimum thirty-foot (30') side-yard setback, to allow a patio to be located approximately eighteen feet (18') from the side property line due to existing site constraints.
- g. Close Public Hearing

Public Hearing: Petitioner of a parcel consisting of 2 acres at 20370 North Rand Road, Suite 106, Deer Park, Illinois 60047 to allow a Special Use Permit for a Virtual Car Dealership. **Pages 47-79**

The Applicant requests 158.30(B)(5) Special Use Permit for a Virtual Car Dealership.

Petitioner: Chaitanya Gor

- a. Open Public Hearing and Establish Quorum
- b. Petitioner Comments
- c. Staff and Commission Questions/Comments
- d. Public Comment
- e. Close Public Comment
- f. Commission Motion to approve/deny/continuation, a requests 158.30(B)(5) Special Use Permit for a Virtual Car Dealership.
- g. Close Public Hearing

Any Old and/or All New Business

Adjourn

Village of Deer Park Planning and Zoning Commission Minutes

Monday, December 1, 2025 – 7:00 p.m.

Deer Park Vehe Barn, 23570 W. Cuba Road, Deer Park, Illinois 60010

Pledge of Allegiance

A meeting of the Planning and Zoning Commission of the Village of Deer Park was held on December 1, 2025, at 7:00 p.m. at Vehe Barn 23570 W. Cuba Road, in the Village of Deer Park, in the Counties of Lake and Cook, Illinois. Chairman Heidtke called the meeting to order at 7:00 p.m.

Roll Call and Determination of a Quorum

Upon Roll Call Chairman Heidtke, Commission Members Wohl, Parry, Horsky-Gust, Pinchot, and Lammers were present. Other Village Officials present included Building and Zoning Official Garrett, Director of Building and Zoning Doniec, Village Attorney Cahill, Village Administrator McAndrews, Village President Rusteberg, and Village Clerk Kelly. Commission Member Mann was absent.

Approval of Agenda

Motion: Commissioners Wohl moved, and Pinchot seconded to approve agenda for December 1, 2025.

Upon Voice Call:

Ayes: Wohl, Pinchot, Horsky-Gust, Parry, and Lammers

(5) Ayes / (0) Nays / (1) Absent

Motion Carried 5/0

Public Comments –Sign-in prior to meeting at podium; 5 minutes time limit per person

No public comments

Approval of Planning and Zoning Commission Meeting Minutes of November 3, 2025.

Motion: Commissioners Parry moved, and Wohl seconded to approve Planning and Zoning Minutes from November 3, 2025.

Upon Roll Call:

Ayes: Wohl, Pinchot, Horsky-Gust, Parry, and Lammers

(5) Ayes / (0) Nays / (1) Absent

Motion Carried 5/0

Approval of the 2026 Planning and Zoning Commission Annual Meeting Calendar.

Motion: Commissioners Parry moved, and Wohl seconded to approve 2026 Planning and Zoning Commission Annual Meeting Calendar.

Upon Roll Call:

Ayes: Wohl, Pinchot, Horsky-Gust, Parry, and Lammers

(5) Ayes / (0) Nays / (1) Absent

Motion Carried 5/0

Public Hearing: Petitioner of a parcel consisting of 1.66 acres at 20330 N. Deer Park Blvd, 20530 N. Rand Rd, 21540 W. Field Pkwy, Deer Park, IL 60010 to allow for the operation of a medical office. An amendment to PUD to add permitted use to include medical office use for Suites 104-136, Suites 344-352, and Suites 600-620.

Petitioner: JLL – Jones Lang LaSalle Americas (Illinois), LP

- a. Open Public Hearing and Establish Quorum

Motion: Commissioners Lammers moved, and Wohl seconded to Open Public Hearing for requests for an amendment to PUD to add permitted use to include medical office use for Suites 104-136, Suites 344-352, and Suites 600-620.

Upon Roll Call:

Ayes: Wohl, Pinchot, Horsky-Gust, Parry, and Lammers

(5) Ayes / (0) Nays / (1) Absent

Motion Carried 5/0

b. Petitioner Comments

Attorney Dan Shapiro presented an application to amend the Planned Unit Development (PUD) for the Deer Park Town Center. The goal was to allow medical office use as permitted use in specific suites, rather than requiring a special use permit for each. This was intended to fill vacancies, increase vibrancy, and align the PUD with the Village's current zoning ordinance, which already permits medical use in planned developments code.

Deer Park Town Center is requesting permitted medical use of up to 25% of the 72,320 sq. ft. of designated 104, 106-136, 344-352 and 600-620 (approximately 18,000 sq. ft.).

c. Staff and Commission Questions/Comments

Building and Zoning Official Garrett stated the provided parking lot update was incomplete. Medical use typically requires more parking (1 space per 150 sq. ft.) than retail (1 per 300 sq. ft.). The restaurants non-eating areas are not accounted for the employee parking calculations. The mall is designated as retail, agrees different uses bring traffic to the mall. Requesting what calculations make sense for the mall, Village is recommending a 10% cap on medical office use, as citing historical precedent, which was significantly lower than the applicant's 25% request. Staff also recommends that a business use that is primarily used as retail, but is also used as a medical use shall be determined to be a retail space with the medical portion as office use based on the following criteria: The retail portion of the space is 65% or greater of the square footage of the space and the medical portion of the space is less than 35% of the square footage of the space. (Lens Crafters, and Warby Parker).

Commission discussed the use of the mall and the number of vacant spaces. How much retail space would be allowed for medical use. The Village has no property tax and sales tax is the main source of income for the Village.

The request for only 10% is almost what the mall already has leased for medical use. Existing medical type uses (MedSpa, MRI, etc.) already totaled 11,103 sq. ft., or about 15% of the designated requested suites. The entire mall is about 406,000 square feet medical use would only be about 4-5% of the whole mall. The request is only 25% of the 72,320 sq. ft. of designated 104, 106-136, 344-352 and 600-620 (18,080 sq. ft.). Of the 72,320 sq. ft. of the designated 104, 106-136, 344-352 and 600-620 (18,080 sq. ft.) the vacancy is approximately 34%. Discussion of no medical use facing Rand Road. After discussion there is no objection to Suites 104, 106-136 but no expansion of medical uses in Suites 344 and 346. Also, the request for additional medical use as a special use could be brought before the commission in the future if there was a tenant proposed. Discussion of definition of medical, day spa, med spa and the 65/35 retail space to be added to the ordinance.

d. Public Comment

Open Public Comments – no public in attendance.

e. Close Public Comment

Closed Public Comment

- f. Commission Motion to approve/deny/continuation, an amendment to PUD to add permitted use to include medical office use for Suites 104-136, Suites 344-352, and Suites 600-620.

Commission discussed the motion and the current suites already in place with medical use. Noted no grandfather in suites on lease renewal any medical uses must move to allocated suites noted. Provide definition of medical use, day spa and med spa for ordinance. Make note of the 65% retail and 35% medical would be counted as retail space. Discussion of what is medical use, Laser Away will be considered a medical use and will need to relocate to the designated medical use suite after lease expires.

Motion: Commissioners Pinchot moved, and Wohl seconded to approved medical use for suites 104, 106-136, 350, 352 and 600-620 not to exceed 18,080 sq feet. Petitioner to provide updated exhibits to include parking count and lease plan for exhibits for ordinance.

Upon Roll Call:

***Ayes: Wohl, Pinchot, Horsky-Gust, Parry, and Lammers
(5) Ayes / (0) Nays / (1) Absent***

Motion Carried 5/0

- g. Close Public Hearing

Motion: Commissioners Wohl moved, and Parry seconded to Close Public Hearing.

Upon Voice Call:

***Ayes: Wohl, Pinchot, Horsky-Gust, Parry, and Lammers
(5) Ayes / (0) Nays / (1) Absent***

Motion Carried 5/0

Any Old and/or All New Business

Commission member Horkey-Gust questioned the status of the Dunkin Donuts development. Administrator McAndrews provided an update, and the Village is currently waiting on a letter of credit from the owner.

Group discussed the ways to further the tax base for services not receiving sales tax. Discussion of what kind of development would be beneficial to the Village. Discussion of the sales tax from online sales and buyers are not shopping in stores. Discussion of a joint workshop between the Planning and Zoning Commission and the Village Trustees to align on future vision, understand the current business profile of Deer Park, and discuss strategies to attract new businesses.

Adjourn

Motion: Commissioners Wohl moved, and Parry seconded to adjourn at 8:39 p.m.

Upon Voice Call:

***Ayes: Wohl, Pinchot, Horsky-Gust, Parry, and Lammers
(5) Ayes / (0) Nays / (1) Absent***

Motion Carried 5/0

Respectfully Submitted,

***Kimberly Kelly
Village Clerk***

***David Heidtke
Committee Chair***

VILLAGE OF DEER PARK APPLICATION FOR VARIATION(S)

PLEASE PROVIDE THE FOLLOWING INFORMATION:

1. **COMMON ADDRESS OF SUBJECT PROPERTY:** Common address of the property which is the subject of this application ("the subject property"):

21980 N Mayfield Lane Deer Park, IL 60010

2. **NAME AND ADDRESS OF PETITIONER(S):** Please provide the name of the applicant(s) (also hereinafter referred to as "the Petitioner(s)") and state the interest of the applicant in the aforesaid property. Also, please state when this interest was acquired.

Name(s): VICKI RODRIGO

Address: 21980 N Mayfield Lane Deer Park, IL 60010

Phone(s): 4029800851

Email: vicki.rodrido1@gmail.com

Interest in Property: Homeowner

Date Interest Acquired:

CONTACTS

	NAME	PHONE NO.	EMAIL ADDRESS
ATTORNEY:	N/A		
CIVIL ENGINEER:	N/A		
ENVIRONMENTAL CONSULTANT:	N/A		
SEPTIC ENGINEER:	N/A		
LANDSCAPING/ TREE EXPERT:	N/A		

3. **STATEMENT OF OWNERSHIP:** Please provide the legal name(s) of the owner(s) and state how long they have owned the subject property:

Name(s): Vicki Rodrigo

Address: 21980 N Mayfield Lane
Deer Park, IL 60010

Phone(s): 402-980-0851

Fax:

Email: vicki.rodrido1@gmail.com

Date Interest Acquired:

Name(s):

Address:

Phone(s):

Fax:

Email:

Date Interest Acquired:

Name(s):

Address:

Phone(s):

Fax:

Email:

Date Interest Acquired:

4. **LEGAL DESCRIPTION:** State the legal description and P.I.N. number of the subject property:

Permanent Index Number: 14-29-102-051

5. **EVIDENCE OF OWNERSHIP:** Attach a copy of your deed, title policy, or a copy of your contract to purchase for the subject property.

6. **REQUESTED VARIATION(S):** Describe the specific variation request(s) and the reason for the request, for example, “2 foot variation request from the 20 foot minimum side yard setback requirement, to allow for the construction of a detached garage”:

A variation from the required side-yard setback to allow construction of the proposed paver patio, which encroaches into the required setback due to the lot's irregular configuration, site topography, drainage patterns, easements, and septic tank clearances. The deck landing and stairs are part of the overall improvement but remain within compliance. The requested variation applies specifically to the patio footprint.

7. **REQUESTED VARIATION(S) – CODE SECTION(S):** Provide the code sections if known, for the variation(s):

Side-yard setback requirements for residential zoning districts under the Deer Park Zoning Code.

8. **STANDARDS FOR APPROVAL OF VARIATION(S):** Variations shall be recommended by the Committee and approved by the Board of Trustees only if the evidence shows that all of the following have been carefully considered and satisfied. The Village of Deer Park Municipal Code/Zoning Code establishes the following standards for the approval of variation(s). The Petitioner(s) must state whether or not each of these standards has been or will be met by answering the following questions and describing in detail the evidence which supports each such answer:

A. Why are the proposed variation(s) in harmony with the general purpose and intent of the Deer Park Zoning Code and in accordance with the general or specific rules therein contained?

The requested variation supports the intent of the zoning code by maintaining substantial separation, and protecting drainage and neighboring properties. The patio is at grade level, is fully screened by mature landscaping, and is located approximately 130 feet from the nearest neighboring home. Although technically located in a “side yard,” this area functionally operates as a rear yard, and the request preserves the spirit and purpose of the setback regulation.

B. What are the practical difficulties or particular hardships in the way of carrying out the strict letter of the provisions of the Deer Park Zoning Code as applied to the Subject Property?

Strict compliance creates a hardship because:

- The lot is irregularly shaped, with most usable space located along the “side” of the home.
- The site has steep topography that limits feasible construction locations.
- A large easement restricts placement of improvements.
- The septic tank, covers, and required clearances eliminate large portions of the yard from consideration.

C. Why would the strict application of the Deer Park Zoning Code relating to the use, construction, or alteration of buildings or structures or utilization of the land impose upon the Petitioner(s) and the Subject Property an unusual or impractical difficulty(ies) or particular hardship(s) based upon the above facts?

Strict adherence to the setback requirement would deny the homeowner the ability to construct any usable outdoor patio adjacent to the rear of the home. The hardship is not self-created; it arises directly from the existing shape of the lot, the location of the home, topography, and utility/septic restrictions. Without relief, the owners would be left without reasonable use of their yard.

D. Why would the requested variation(s) from the strict application of the provisions of the Deer Park Zoning Code be in harmony with the general purpose and intent of said Zoning Code?

The variation preserves the zoning code's goals, including privacy, safety, drainage protection, and neighborhood character. Because the patio is low-profile, non-structural, and screened by existing vegetation, it does not create massing, light-blockage, or visual impact issues. It supports appropriate, residential use while respecting the intent of the code.

E. Why will granting of the requested variation(s) not merely serve as a convenience to the Petitioner(s) but instead alleviate some demonstrable and unusual hardship or difficulty so great as to practically deprive the owner of any use of the property?

The request is not made for convenience. Due to septic restrictions, grading, and easements, there are no alternative locations for the patio. Granting relief is necessary to allow reasonable use of the property, not for aesthetic preference or convenience.

- F. Will adjoining or surrounding properties or other properties in the vicinity be adversely affected by the requested variation(s)? If so, how will they be affected?

Surrounding properties will not be adversely affected. The patio is ground-level, and located approximately 130 feet from the nearest neighbor. It does not create visual intrusion, noise, congestion, or any detrimental impact. The improvement is typical for residential use and will not impair enjoyment or value of nearby homes.

- G. Will the requested variation(s) from the Deer Park Zoning Code:

- (1) Impair an adequate supply of light and air to adjacent properties? If so, how?

No impact — the patio is at existing grade and does not obstruct light or air.

- (2) Unreasonably increase congestion in the public streets, or increase the danger of fire or endanger the public safety? If so, how?

No effect — the patio does not increase use intensity and has no relationship to roadways or access.

- (3) Diminish the drainage or watershed or soil erosion control within the surrounding areas? If so, how?

All drainage patterns remain intact, and required clearances around the septic tank are maintained as shown on the plans. No negative drainage or erosion impacts will result.

- (4) Diminish the taxable or sale value of land and improvements within the surrounding areas? If so, how?

No diminution — the improvement is consistent with neighborhood norms and will likely enhance property value.

- (5) In any other respect impair the public health, safety, comfort, convenience, morals, interest, or welfare of the inhabitants of the Village? If so, how?

The request supports reasonable residential use and does not negatively impact public health, safety, or welfare. All environmental, septic, and structural clearances are preserved.

9. **SUBMITTALS:** Attach fifteen (15) copies of the plat of survey and fifteen (15) copies of the site, building, façade, or other plans indicating the location of the intended use and/or other existing and proposed structures. Provide any additional materials that would assist the Village in reviewing this petition: i.e. letters, photos, etc.

10. **REQUIRED NOTICE(S):**

The Petitioner(s) are advised that, Section 158.55 of the Deer Park Zoning Code: <http://www.villageofdeerpark.com/DocumentCenter/View/2183/Chapter-158---Zoning-Code-PDF-in-effect-after-June-15-2024>

11. **FEES AND DEPOSITS:** All required fees and deposits must accompany this Application.

The Petitioner(s) and/or Owner(s) of record of the Subject Property hereby state that the information contained in and/or attached to this Application for Variation(s) is true and correct.

Signature of Petitioner(s)

Subscribed and sworn to before me
this ____ day of _____, 20__.

Notary Public

Signature of Owner(s), if different than Petitioner(s)

Subscribed and sworn to before me
this ____ day of _____, 20__.

Notary Public



LANDING, STAIRS AND PATIO SHEET SET INDEX			
DATE	REV #	SHEET ID	SHEET DESCRIPTION
11/14/2025	2	COVER	COVER SHEET
		GD1	GENERAL DECK NOTES
11/14/2025	2	A0	SITE PLAN
11/14/2025	2	A1	EXISTING CONDITIONS DIMENSION PLAN
11/14/2025	2	A2	PROPOSED PROJECT FLOOR PLAN
11/14/2025	2	A3	DECK FRAMING PLAN
11/14/2025	2	A4	DECK FLOOR PLAN
11/14/2025	2	A5	PATIO FLOOR PLAN
		XD1	DECK DETAILS: GENERAL CONSTRUCTION
		XD2	DECK DETAILS: STAIRS AND RAILINGS
		XD3	DECK DETAILS: PRESCRIPTIVE DESIGN TABLES
		PT1	PIERTECH HELICAL PIER DETAILS: DECK ONLY
		PT2	PIERTECH HELICAL PIER DETAILS: DECK BRACKET
		PT3	PIERTECH HELICAL PIER DETAILS: SPECIFICATIONS

PROJECT SCOPE:
 PROPOSED NEW DECK LANDING, STAIRS, AND PAVER PATIO TO BE INSTALLED WITH REGARD TO CLEARANCE REQUIRED AROUND EXISTING SEPTIC TANK AND COVERS. TEMPORARY BARRIER TO PREVENT ACCESS THROUGH EXISTING SLIDING DOOR TO BE INSTALLED. CLEARANCE AROUND EXISTING SEPTIC TANK TO BE MAINTAINED.

PROJECT CALCULATIONS:
 EXISTING LOT SQ. FOOTAGE: 54 844 SQ. FT.
 EXISTING IMPERVIOUS SURFACE AREA: 2216 79 SQ. FT.
 SCOPE OF DEMO SQ. FOOTAGE: 400 79 SQ. FT.
 PROPOSED PROJECT SQ. FOOTAGE: 817 SQ. FT.

ALL WORK TO CONFORM TO ADOPTED CODES OF THE VILLAGE OF DEERPARK, IL OF THE COUNTY OF LAKE COUNTY

- 2024 INTERNATIONAL BUILDING CODE (IBC)
- 2024 RESIDENTIAL CODE (IRC)
- 2024 INTERNATIONAL MECHANICAL CODE (IMC)
- 2024 INTERNATIONAL FIRE CODE (IFC)
- 2023 NATIONAL ELECTRICAL CODE (NEC)
- 2024 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2024 NFPA 701 - LIFE SAFETY CODE

SEE ADDITIONAL DESIGN CRITERIA SHEET 102

PROJECT INFORMATION:
 LOCATION:
 42 18250, -88 09809



Rodrigo Drawings For Permit
 21980 North Mayfield Lane
 Deerpark, IL
 60010



DRAWINGS FOR PERMIT

Rodrigo Drawings
 21980 North Mayfield Lane
 Deer Park, IL
 60010

Date:
 09/23/2025

Sheet:
 COVER

APPLICABLE CODES:

THIS PROJECT HAS BEEN DESIGNED PER THE CODES ADOPTED BY THE VILLAGE OF:

DEERPARK, IL

VILLAGE CODES:

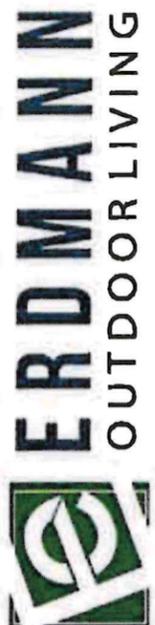
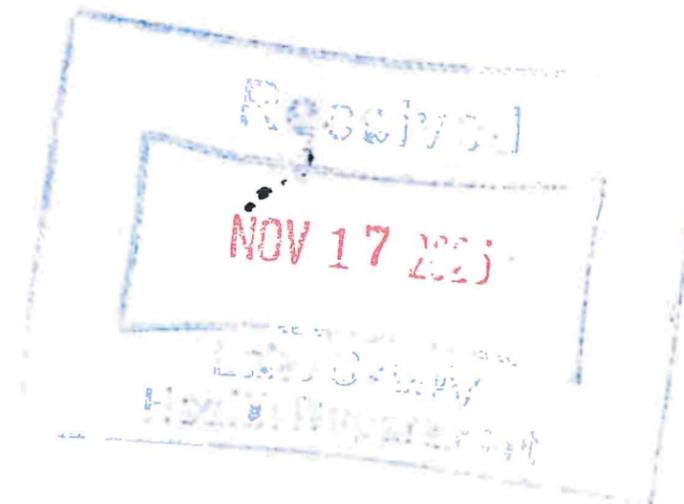
- 1. 2024 INTERNATIONAL BUILDING CODE (IBC)
- 2. 2024 RESIDENTIAL CODE (IRC)
- 3. 2024 INTERNATIONAL MECHANICAL CODE (IMC)
- 4. 2024 INTERNATIONAL FIRE CODE (IFC)
- 5. 2023 NATIONAL ELECTRICAL CODE (NEC)
- 6. 2024 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 7. 2024 NFPA 101 - LIFE SAFETY CODE

PROJECT SPECIFIC NOTES:

- 1. USE 2"X8" TREATED FLOOR JOISTS SPACED 12" O.C.
- 2. DECK/TREAD/SINGLE BORDER
COLOR: TIMBERTECH AZEK: HARVEST - SLATE GRAY
- 3. RAILINGS AND INFILL: IMPRESSIONS RAIL EXPRESS
COLOR: CLASSIC RAIL TOP, WHITE RAILINGS, BLACK BALUSTERS

GENERAL NOTES:

- 1. ALL DECKING AND TRIM WILL BE INSTALLED USING FACE SCREWS WITH CORTEX PLUGS
- 2. INSTALL 'FASTEN MASTER' JOIST PROTECTION ON ALL JOISTS AND HEADERS
- 3. GUARDRAIL CONSTRUCTION SHALL COMPLY WITH 2018 IRC, SECTION R312.1 & R301.5
- 4. A GRASPABLE HANDRAIL SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 43 OR MORE RISERS. HAND RAIL SHALL BE NOT LESS THAN 34" HIGH AND NOT MORE THAN 38" MEASURED AT THE STAIR.
- 5. R311.7.8.1 REQUIRED HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT FROM THE POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT FROM THE POINT DIRECTLY ABOVE THE LOWEST RISE OF THE FLIGHT, HAND RAILS SHALL BE RETURNED AND TERMINATE IN A NEWEL POST R311.7.8.4
- 6. ALL STRUCTURAL FRAMING MATERIALS TO BE #2 GRADE OR BETTER PRESERVATIVE TREATED PER SECTION R301 USING THE WET SERVICE FACTOR DEFINED IN AWC NDS
- 7. CUT, NOTCHED, AND DRILLED HOLES SHALL BE TREATED IN ACCORDANCE WITH SECTION R317.1.1
- 8. ALL TREATED WOOD SHALL BE LABELED AS GROUND.
- 9. WHERE 2 MEMBERS ARE REQUIRED AS A NEW BEAM, BEAM PILES SHALL BE FASTENED WITH A MINIMUM OF 2 ROWS 10D 3"X0 128" GALVANIZED NAILS WITH 2 NAILS AT EACH END. BEAMS SHALL BE ALLOWED TO CANTILEVER UP TO 1/4 OF THE ALLOWABLE BEAM SPAN.
- 10. SIMPSON AB66 AND THE H2.5 HURRICANE TIES ACT AS HOLD DOWN DEVICES
- 11. ALL STRUCTURAL DECK MATERIALS TO BE OF PRESSURE PRESERVATIVE TREATED LUMBER.
- 12. ALL LEDGER FASTENERS TO BE FASTENMASTER LEDGERLOKS. SEE 5/XD21 FOR SPACING AND STAGGER PATTERNS FOR SOUTHERN PINE PRESSURE PRESERVATIVE TREATED WOOD.
- 13. INSTALL SIMPSON STRONG-TIE DTT1Z (TOP) AND MI/TEK/USP DTB-TZ (BOTTOM) AT LEDGER CONNECTION TO DECK NO MORE THAN 24" INWARD FROM END OF DECK WITH AT LEAST 1,500 LB CAPACITY OR MORE



GENERAL DECK NOTES

Rodrigo Drawings
21980 North Mayfield Lane
Deer Park, IL
60010

Date:
09/23/2025

Sheet:
GD1

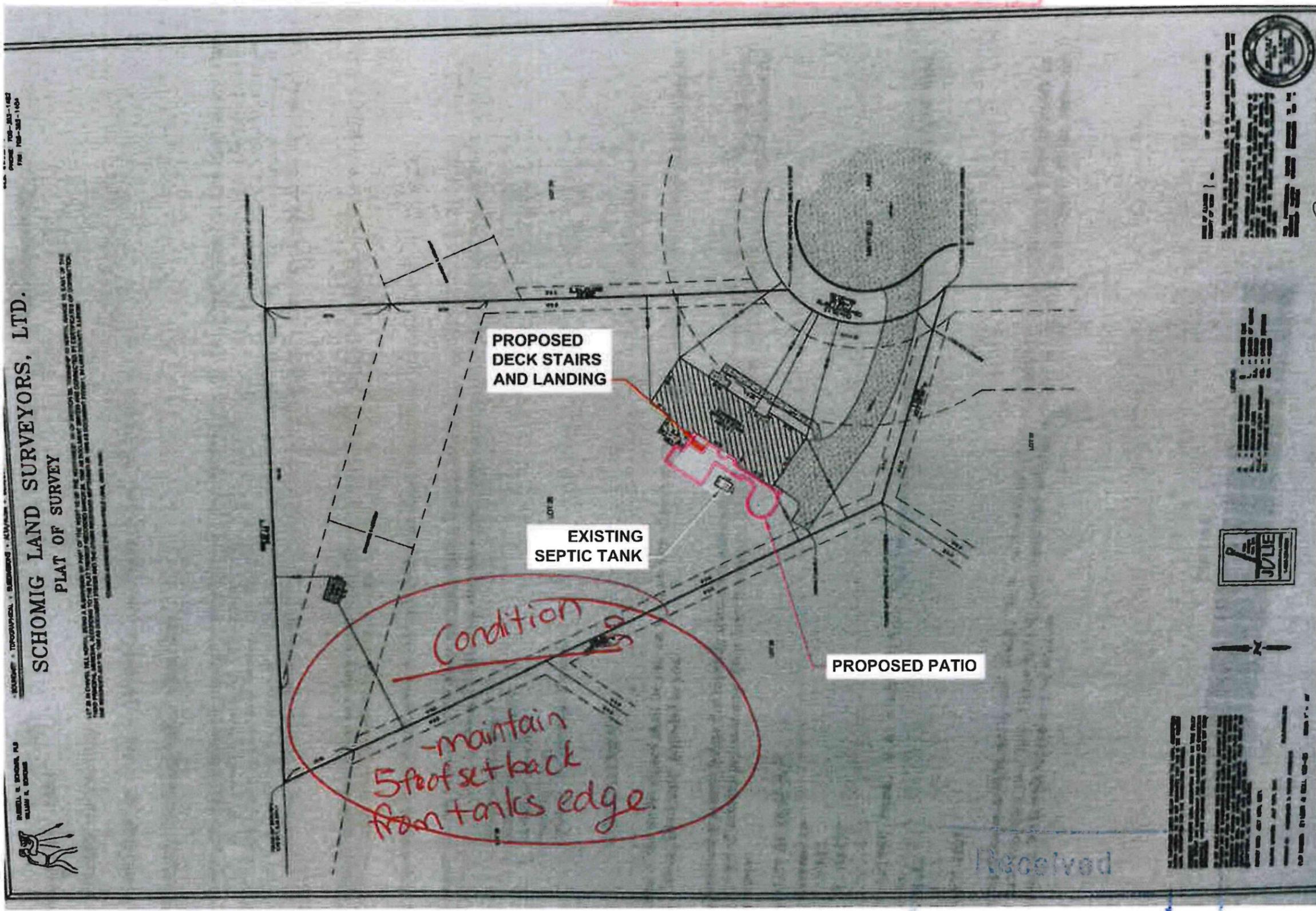
APPROVED BY
THE LAKE COUNTY HEALTH DEPARTMENT
ENVIRONMENTAL HEALTH SERVICES

PHONE 708-383-1682
FAX 708-383-1684

SCHOMIG LAND SURVEYORS, LTD.
PLAT OF SURVEY

ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF SCHOMIG LAND SURVEYORS, LTD. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SCHOMIG LAND SURVEYORS, LTD.

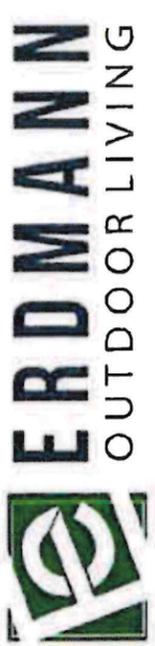
WILLIAM E. SCHOMIG, PLS
WILLIAM E. SCHOMIG, PLS



DATE: 09/23/2025
BY: [Signature]
PROJECT NO. 21980
SHEET NO. 14 OF 79

A SITE PLAN:

Received
09/27/2025



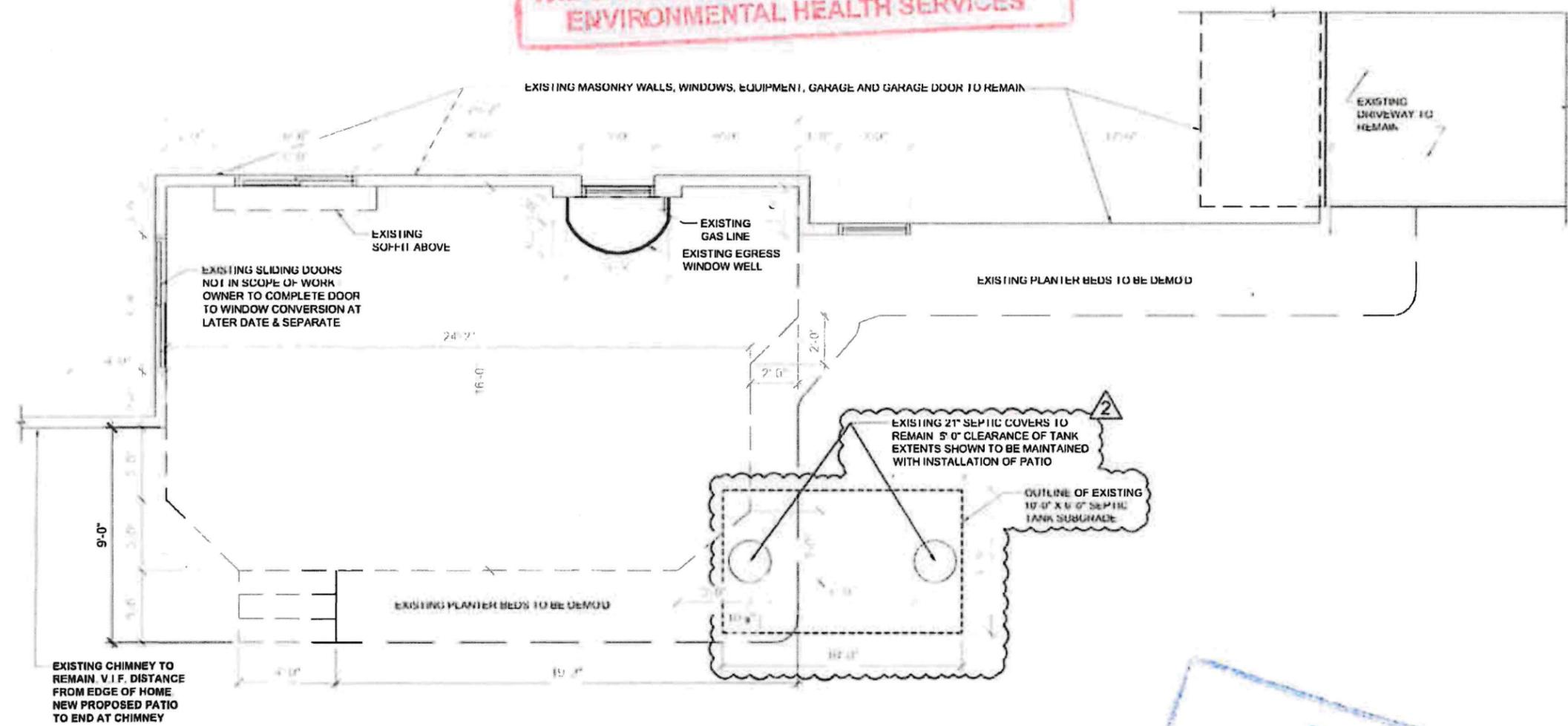
SITE PLAN

Rodrigo Drawings
21980 North Mayfield Lane
Deer Park, IL
60010

Date:
09/23/2025

Sheet:
A0

**PROPERTY ALTERATION
APPROVED BY
THE LAKE COUNTY HEALTH DEPARTMENT
ENVIRONMENTAL HEALTH SERVICES**



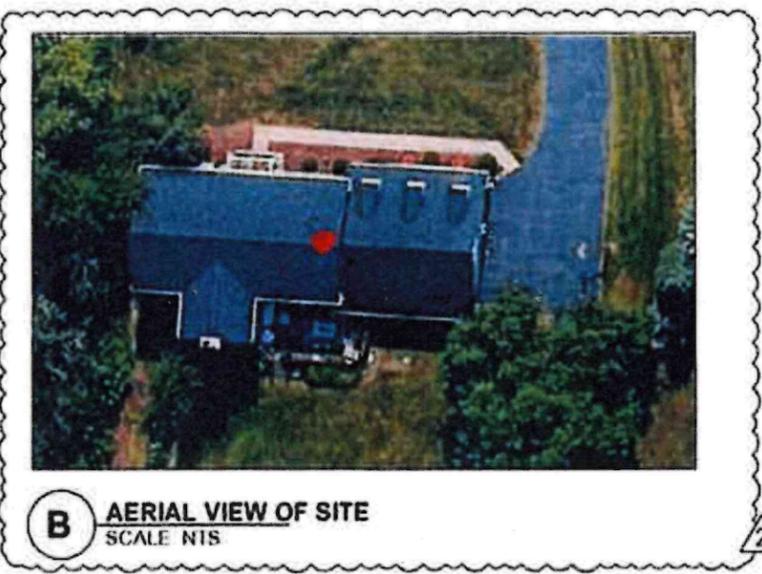
LEGEND:

- EXISTING WALLS/HOME
- EXTENT OF DEMO

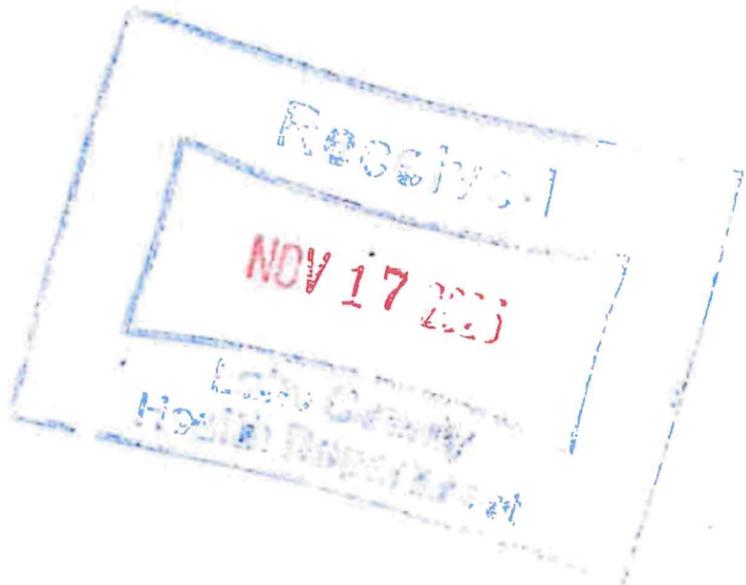
PROJECT SPECIFIC NOTES:

- EXISTING DECK AND POSTS TO BE DEMO'D AND REMOVED
- EXISTING Ø 21" SEPTIC TANK AND COVERS TO REMAIN.
- EXISTING DECK 1'-0" ABOVE FOUNDATION AND 2'-0" ABOVE GRADE TO BE DEMO'D AND REMOVED. AREA TO BE PREPPED FOR NEW CONSTRUCTION
- EXISTING PLANTER BEDS TO BE DEMO'D AND REMOVED FOR NEW CONSTRUCTION

A EXISTING CONDITIONS DIMENSION PLAN
SCALE: $\frac{3}{16}'' = 1'-0''$



B AERIAL VIEW OF SITE
SCALE NTS



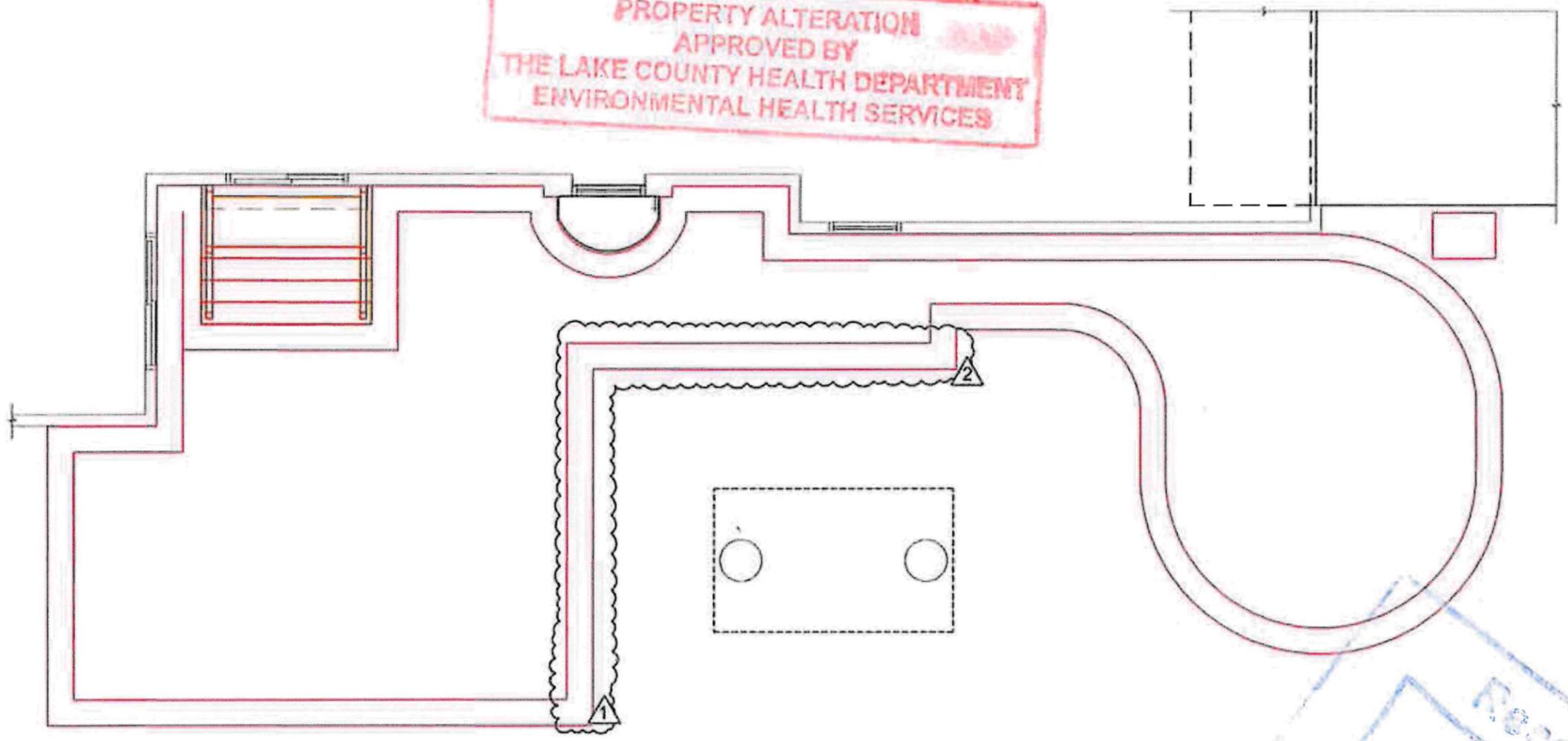
Rodrigo Drawings
21980 North Mayfield Lane
Deer Park, IL
60010

Date:
09/23/2025

Sheet:
A1



PROPERTY ALTERATION
 APPROVED BY
 THE LAKE COUNTY HEALTH DEPARTMENT
 ENVIRONMENTAL HEALTH SERVICES



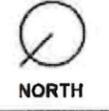
LEGEND:
 — EXISTING WALLS/HOME
 — NEW DECK
 — NEW PATIO



A PROJECT FLOOR PLAN:
 SCALE: 1/4" = 1'-0"

B 3D RENDERING
 SCALE: NTS

Received
 NOV 17 2023
 Lake County Health Department
 Environmental Health Services



ERDMANN
 OUTDOOR LIVING

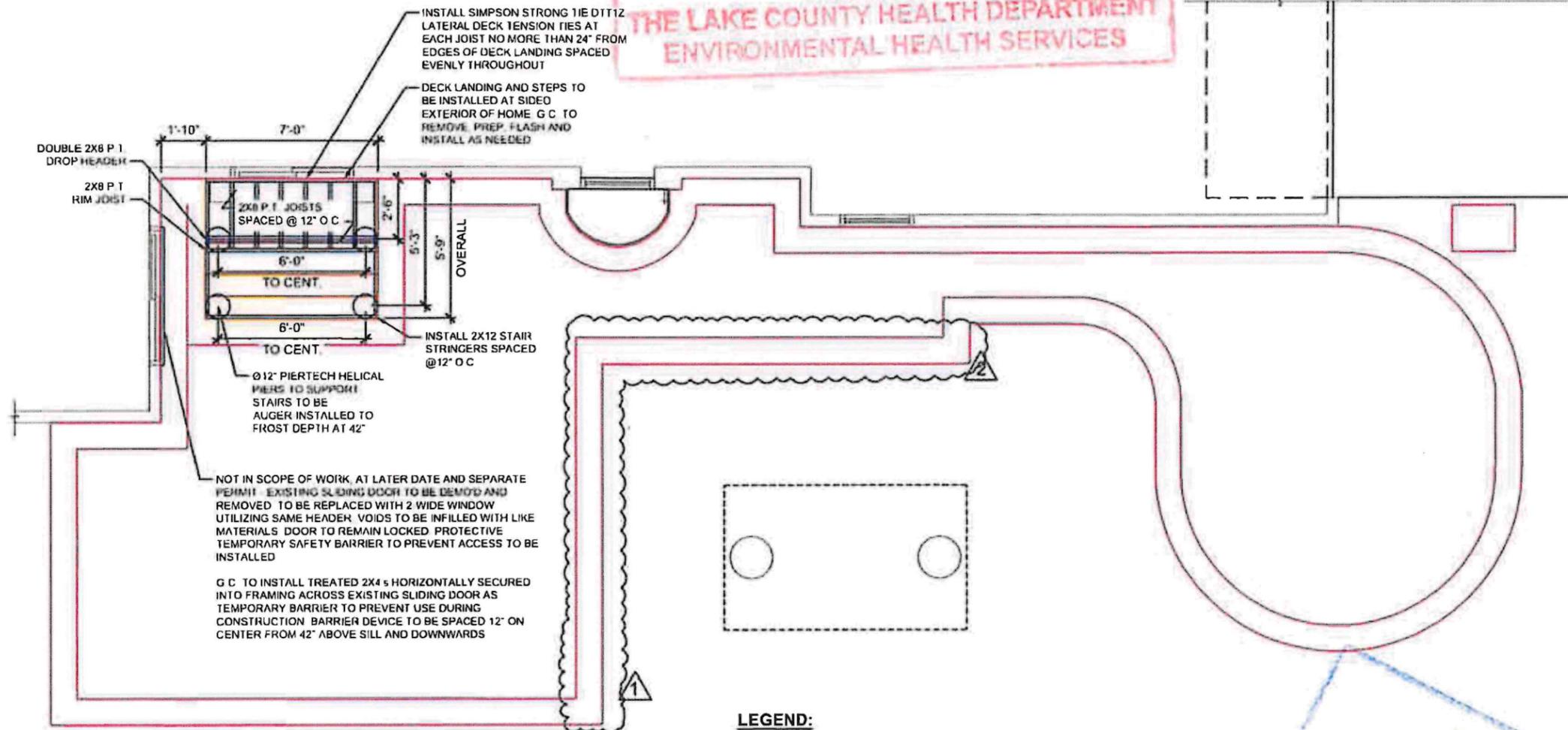
PROJECT FLOOR PLAN

Rodrigo Drawings
 21980 North Mayfield Lane
 Deer Park, IL
 60010

Date:
 09/23/2025

Sheet:
 A2

PROPERTY ALTERATION
APPROVED BY
THE LAKE COUNTY HEALTH DEPARTMENT
ENVIRONMENTAL HEALTH SERVICES



PROJECT SPECIFIC NOTES

- DECK TO BE FREESTANDING AND INSTALLED ADJACENT TO EXISTING MASONRY WALLS OF HOME
- Ø12" ROUND SHAFT 2 - 7/8" X 0 203W PIERTECH HELICAL PIERS TO BE INSTALLED BELOW FROST LINE AT 42" TO SUPPORT LANDING INSTALLATION.
- PROVIDE 4" CONCRETE PAD AND CONCRETE PIERS BELOW STAIR STRINGERS TO SUPPORT STAIRS
- MAIN DECKING/TREADS/SINGLE BORDER/RISERS/FASCIA:
STYLE: TIMBERTECH AZEK HARVEST
COLOR: SLATE GRAY
- FOR RAILS:
STYLE: IMPRESSIONS RAIL EXPRESS
COLOR: WHITE MODERN TOP & BOTTOM RAILS, AND BLACK BALUSTERS



LEGEND:

- NEW DECK FRAMING
- NEW DECK & STAIRS
- NEW PATIO
- EXISTING HOUSE/WALLS
- Ø12" HELICAL PIER

FRAMING NOTES:

1. ALL HEADERS TO BE THROUGH BOLTED IN THE 6X6 SUPPORT POSTS AND ALL POSTS TO BE ATTACHED TO PIERTECH HELICAL PIERS.
2. ASSUME SOIL BEARING CAPACITY AT 3,500 PSF AT 42" REQUIRED FROST DEPTH.
3. CONCEALED FLANGE HANGERS TO BE USED ON END JOISTS AT ALL LOCATIONS.
4. JOIST HANGERS ARE TO BE USED AT ALL JOISTS AND BEAM CONNECTIONS.
5. ALL LEDGER FASTENERS TO BE FASTENMASTER LEDGERLOKS. SEE 5/XD1 FOR SPACING AND STAGGER PATTERNS FOR SOUTHERN PINE PRESSURE PRESERVATIVE TREATED WOOD.
6. SPANS FOR 2X8 BEAMS TO FOLLOW PRESCRIBED SPAN LENGTHS PER IRC R507.2 AND PROCEEDING TABLES.
7. FOR INFORMATION REGARDING HELICAL PIERS, SEE SHEETS 'PT1' & 'PT2' FOR DETAILS.
8. PROVIDE BLOCKING THROUGHOUT AS NEEDED FOR RAILING AND DECK BOARD EDGE FASTENING SUPPORT.

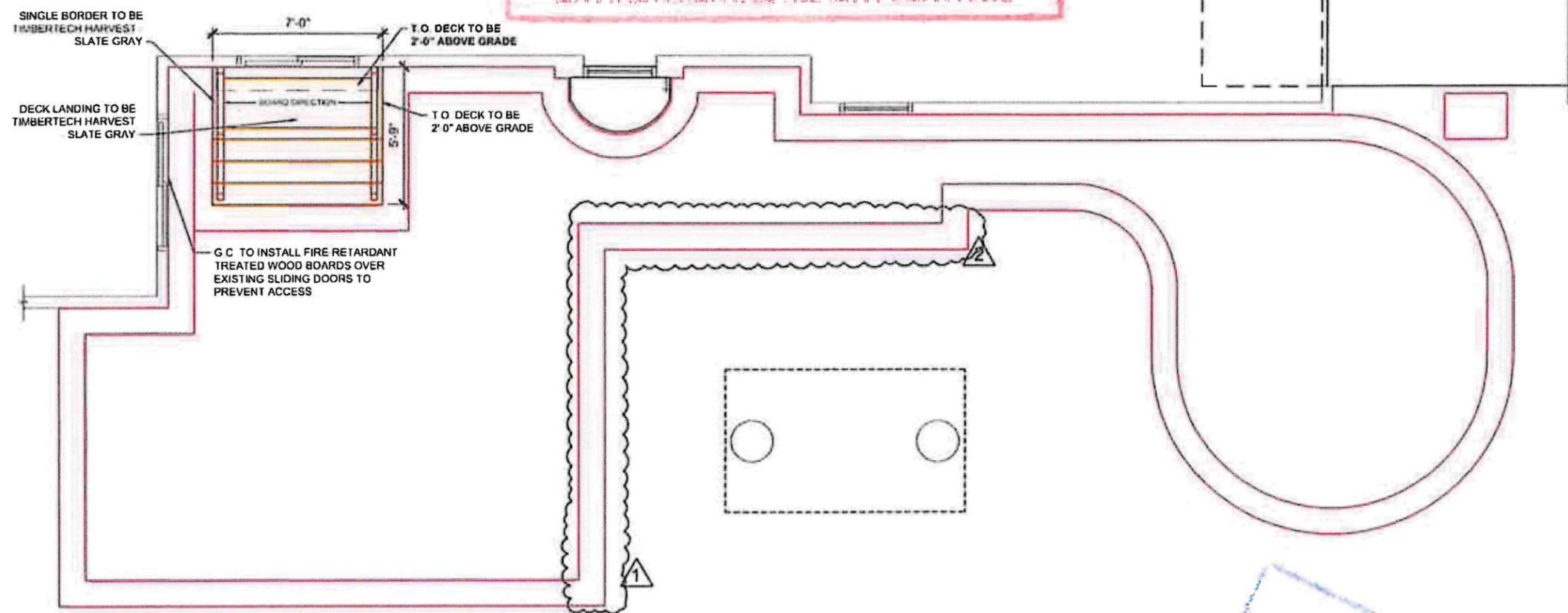
Received
 NOV 17 2025
 Lake County Health Department

A DECK FRAMING PLAN:
SCALE: 3/16" = 1'-0"

B 3D RENDERING
SCALE: NTS

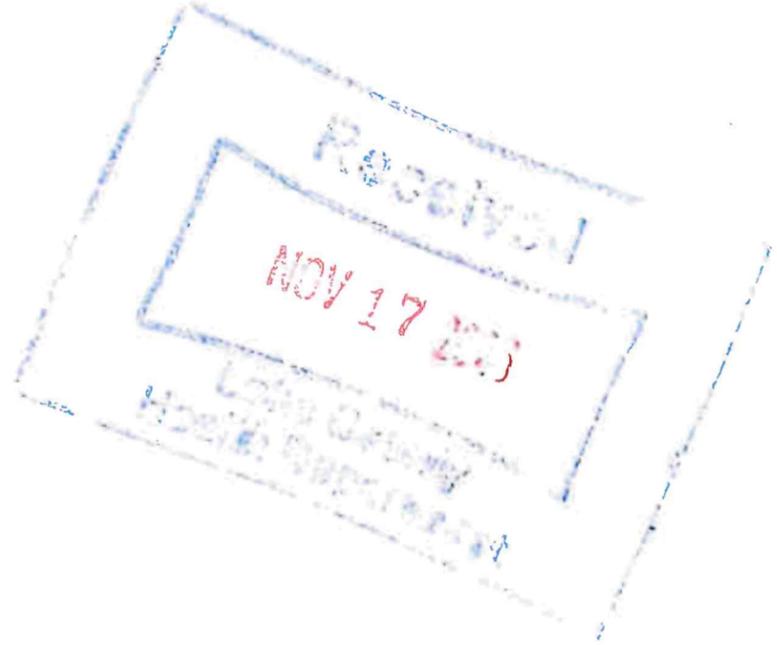


PROPERTY ALTERATION
APPROVED BY
THE LAKE COUNTY HEALTH DEPARTMENT
ENVIRONMENTAL HEALTH SERVICES



- LEGEND:**
- NEW DECK
 - NEW PATIO
 - EXISTING HOUSEWALLS

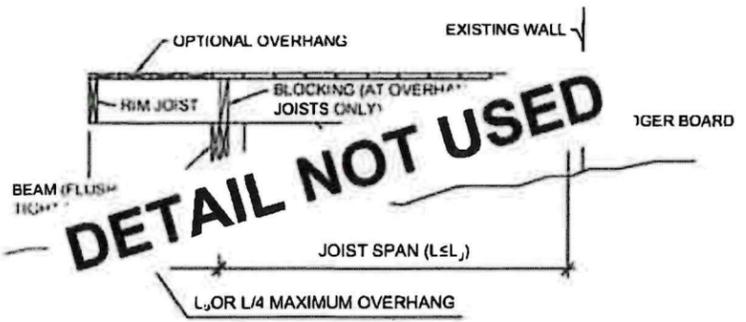
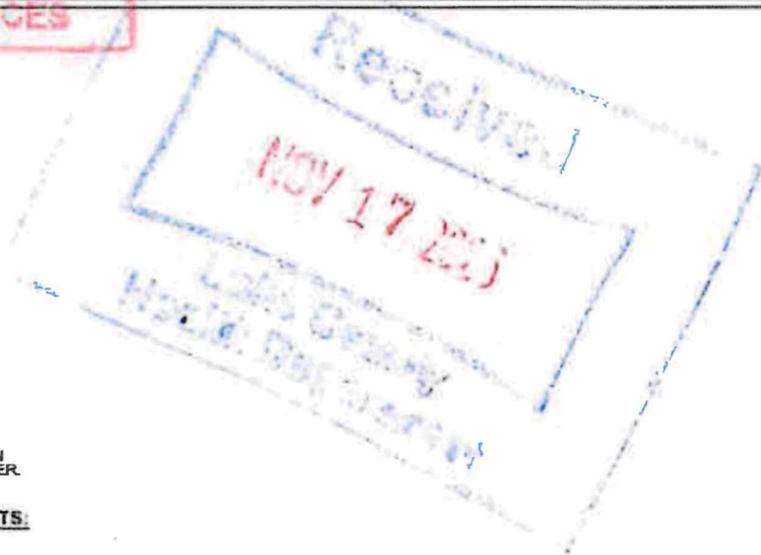
- PROJECT SPECIFIC NOTES:**
- DECK LANDING AND STAIRS TO BE INSTALLED CENTERED ON EXISTING SLIDING BACK DOOR.
 - MAIN DECKING/TREADS/SINGLE BORDER/RISERS/FASCIA:
STYLE: TIMBERTECH AZEK HARVEST
COLOR: SLATE GRAY
 - FOR RAILS:
STYLE: IMPRESSIONS RAIL EXPRESS
COLOR: WHITE MODERN TOP AND BOTTOM RAILINGS WITH BLACK BALUSTERS



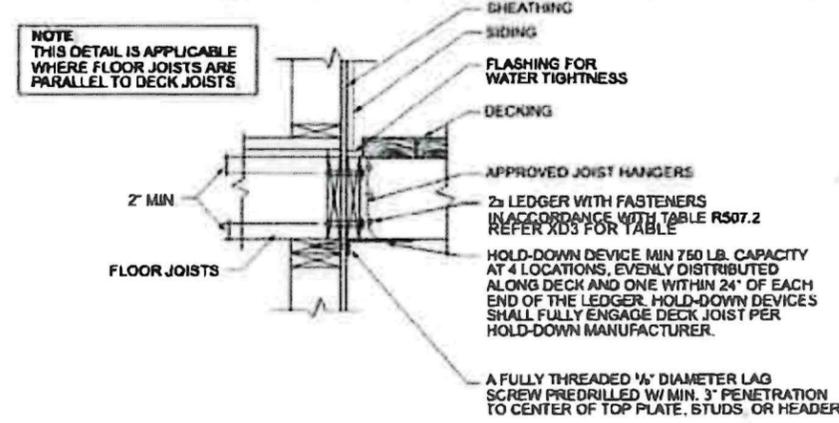
A DECK FLOOR PLAN:
SCALE: $\frac{3}{16}'' = 1'-0''$

B 3D RENDERING
SCALE: NTS

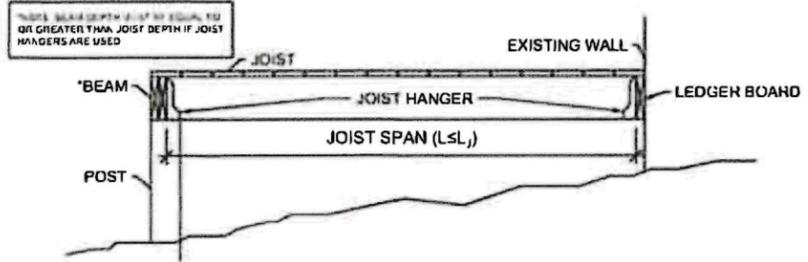




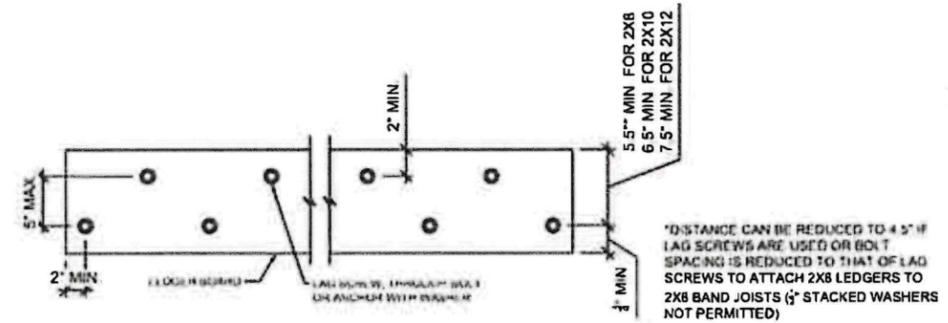
1 JOIST SPAN - DECK ATTACHED AT HOUSE AND BEARING OVER BEAM
SCALE: NTS



4 DECK ATTACHMENT FOR LATERAL LOADS WITH PARALLEL FLOOR JOISTS TO DECK JOISTS.
SCALE: NTS



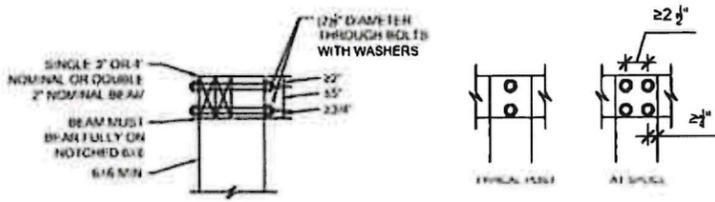
2 JOIST SPAN - JOISTS ATTACHED AT HOUSE AND TO SIDE OF BEAM
SCALE: NTS



THROUGH BOLTS
THROUGH BOLTS SHALL HAVE A DIAMETER OF 3/4\"/>

LAG SCREWS
LAG SCREWS SHALL HAVE A DIAMETER OF 3/4\"/>

EXPANSION AND ADHESIVE ANCHORS
USE APPROVED EXPANSION OR ADHESIVE ANCHORS WHEN ATTACHING A LEDGER BOARD TO A CONCRETE OR SOLID MASONRY WALL. EXPANSION AND ADHESIVE ANCHOR BOLTS SHALL HAVE A DIAMETER OF 3/4\"/>



7 POST-TO-BEAM ATTACHMENT
SCALE: NTS



DIAGONAL BRACING PARALLEL TO BEAM
NOTE: DIAGONAL BRACING IS PROHIBITED ON CENTER POSTS

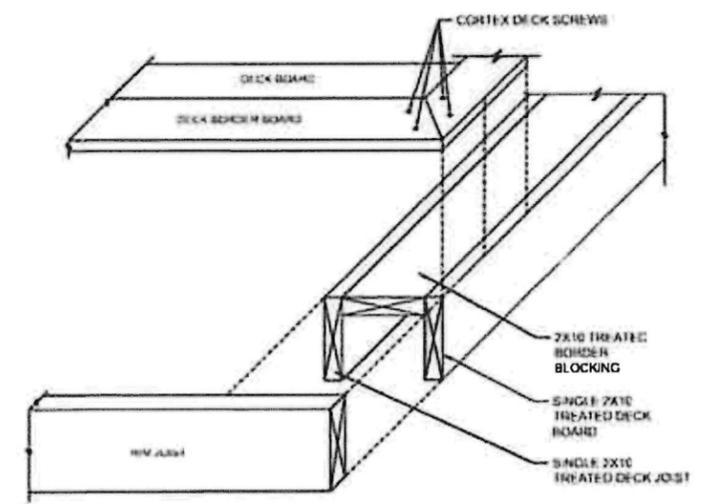
3 DIAGONAL BRACING REQUIREMENTS
SCALE: NTS

2 How to Secure 3" Posts to Deck

- Install proper post blocking (Dia #3A & 3B). Use proper attachment screws or anchors shown in diagram. (Hardware for post attachment are not provided with the posts)
- With 3/16" drill bit, pre-drill through deck boards and into blocking (Dia #3C)
- Drill a 5/8" hole in center of four deck screw holes for lighting wires (optional)
- Level and plumb post using shims.
- Secure posts to deck frame with suggested screws (Dia #3B)
- *Verify local code requirements for post attachment hardware.
- Install post caps (after panels are installed). (Dia #4)

2x6 Blocking, **2x6 Chisel Block**, **2x6 Blocking**, **4x 35\"/>**

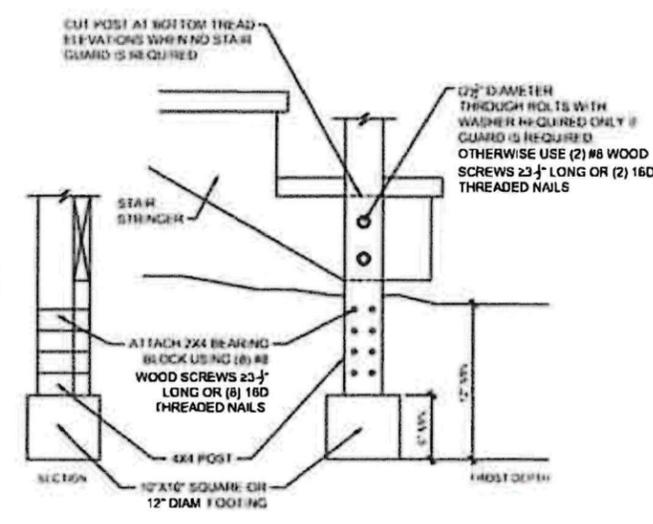
6 GUARD POST TO RIM JOIST EXAMPLE
SCALE: NTS



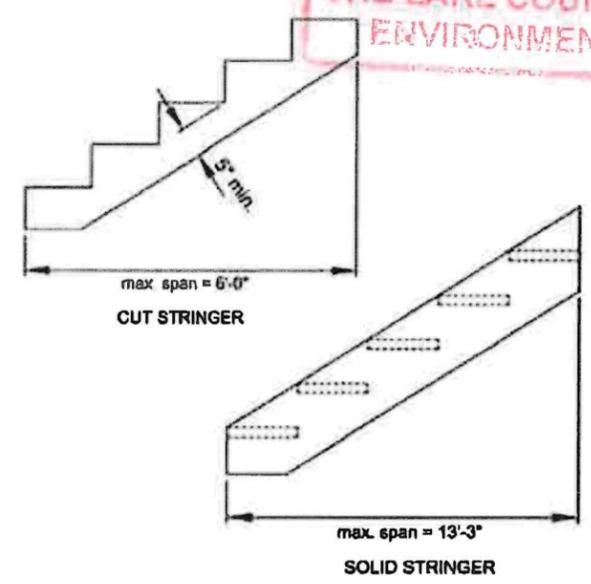
8 BORDER BOARD/DECK BOARD TO DECK FRAMING CONNECTION:
SCALE: 3/4" = 1'-0"

PROPERTY ALTERATION
APPROVED BY
THE LAKE COUNTY HEALTH DEPARTMENT
ENVIRONMENTAL HEALTH SERVICES

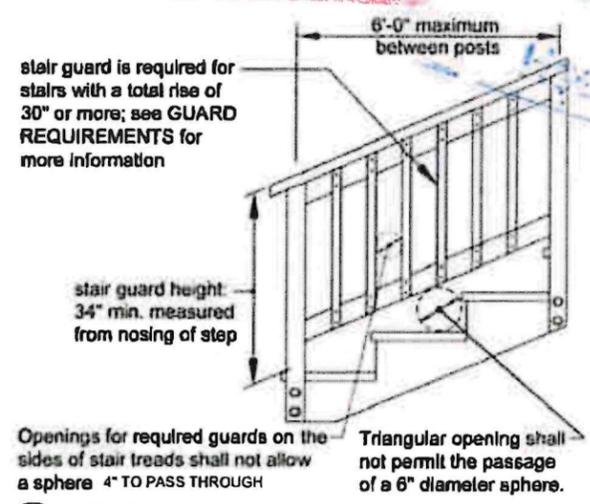
received
NOV 17 2025
LAKE COUNTY HEALTH DEPARTMENT
ENVIRONMENTAL HEALTH SERVICES



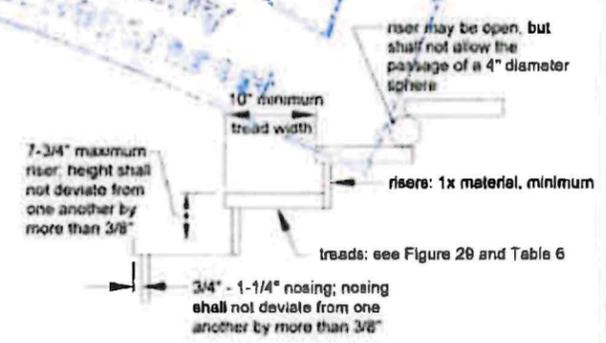
1 STAIR FOOTING DETAIL
SCALE: NTS



3 TREAD AND RISER DETAIL
SCALE: NTS

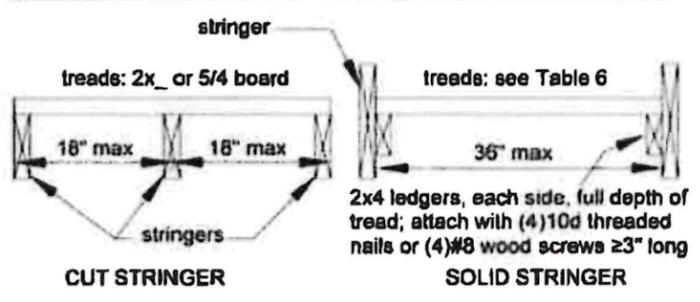


6 STAIR GUARD REQUIREMENTS
SCALE: NTS

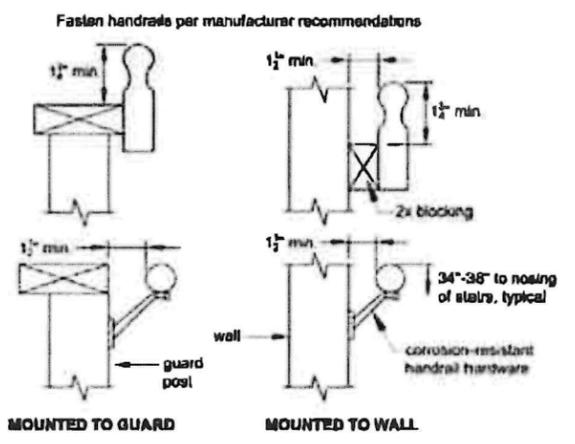


8 TREAD AND RISER DETAIL
SCALE: NTS

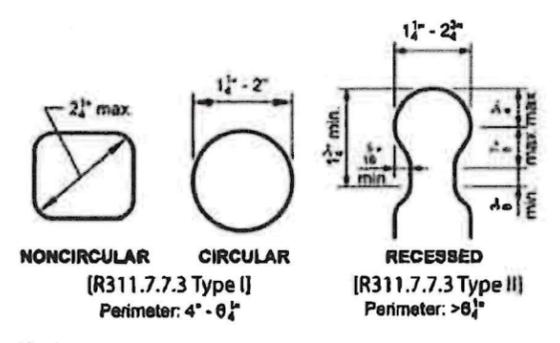
Attachment per tread at each stringer or ledger:
2x_ or 5/4 treads - (2)8d threaded nails or (2)#8 screws $\geq 2\text{-}1/2$ " long
3x_ treads - (2)16d threaded nails or (2)#8 screws $\geq 3\text{-}1/2$ " long



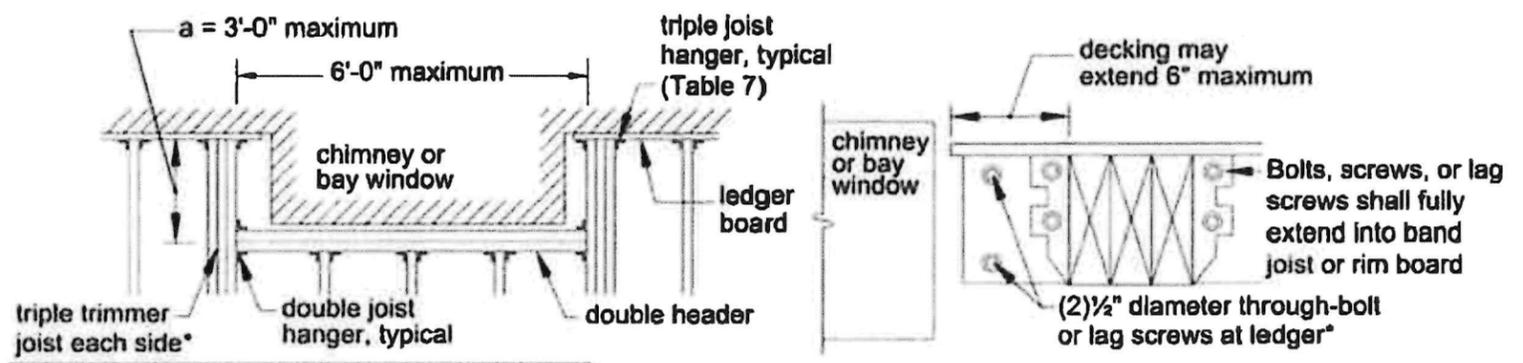
2 TREAD CONNECTION REQUIREMENTS
SCALE: NTS



4 HANDRAILS MOUNTING DETAILS
SCALE: NTS



7 HANDRAIL GRIP SIZE
SCALE: NTS



*Trimmer joist may be double if joists are spaced 24" o.c. or if trimmer length is 8'-6" or less

5 DETAIL FOR FRAMING AROUND A CHIMNEY OR BAY WINDOW
SCALE: NTS

PERDMANN
OUTDOOR LIVING

DECK DETAILS - STAIRS AND RAILINGS

Rodrigo Drawings
21980 North Mayfield Lane
Deer Park, IL
60010

Date:
09/23/2025

Sheet:
XD2

Table 4. Post Height for 6x6³ and Footing Sizes for all Posts.

Beam Span, L _b	Joist Span, L _j	Post Heights ¹					Footing Sizes ²		
		Southern Pine	Douglas Fir-Larch ⁴	Hem-Fir, Western Cedars	Redwood	Ponderosa Pine, Red Pine, SPF ³	Round Footing Diameter	Square Footing	Footing Thickness ⁵
6'	<10'	14'	14'	14'	14'	14'	18"	16"x16"	7"
	≤14'	14'	14'	14'	14'	14'	21"	18"x18"	8"
	≤18'	14'	14'	12'	14'	11'	24"	21"x21"	10"
8'	<10'	14'	14'	14'	14'	14'	20"	18"x18"	8"
	≤14'	14'	14'	14'	14'	11'	24"	21"x21"	10"
	≤18'	14'	13'	11'	12'	8'	27"	24"x24"	11"
10'	<10'	14'	14'	14'	14'	12'	23"	20"x20"	9"
	≤14'	14'	13'	11'	13'	8'	27"	24"x24"	11"
	≤18'	12'	11'	8'	11'	2'	31"	27"x27"	13"
12'	<10'	14'	14'	12'	14'	10'	25"	22"x22"	10"
	≤14'	13'	12'	9'	11'	5'	30"	26"x26"	13"
	≤18'	11'	9'	6'	9'	2'	34"	30"x30"	15"
14'	<10'	14'	13'	11'	13'	8'	27"	24"x24"	11"
	≤14'	11'	10'	7'	10'	2'	32"	29"x29"	14"
	≤18'	9'	8'	2'	8'	NP	37"	33"x33"	16"
16'	<10'	13'	12'	10'	12'	6'	29"	26"x26"	12"
	≤14'	10'	9'	5'	9'	2'	35"	31"x31"	15"
	≤18'	7'	5'	2'	7'	NP	40"	35"x35"	18"
18'	<10'	12'	11'	8'	11'	2'	31"	27"x27"	13"
	≤14'	9'	8'	2'	8'	NP	37"	33"x33"	16"
	≤18'	5'	2'	2'	6'	NP	42"	37"x37"	19"

1. Assumes 40 psf live load, 10 psf dead load, L_b and L_j overhangs. No 2' grade and wet service conditions.
 2. Assumes 1,500 psf soil bearing capacity and 150 psf concrete. Value may be multiplied by 0.9 for corner posts.
 3. Inching assumed for Douglas Fir-Larch, Hem-Fir, and Spruce-Pine-Fir.
 4. Assumes 2,500 psi compressive strength of concrete. Consider footing thickness with post L_b and anchor requirements.
 5. If all nominal posts may be substituted anywhere in Table 4 to a maximum height of 14'

1 PRESCRIBED POST HEIGHTS AND FOOTING SIZES
SCALE: NTS

Table 5. Fastener Spacing for a Southern Pine, Douglas Fir-Larch, or Hem-Fir Deck Ledger or Band or Rim Joist and a 2-Inch Nominal Solid-Sawn Spruce-Pine-Fir Band Joist or LVL Rim Joist.^{1,2,3,4,5}
(Deck Live Load = 40 psf, Deck Dead Load = 10 psf)

Connection Details	Rim Joist or Band Joist	Joist Span							
		6'-0" and less	6'-1" to 8'-0"	8'-1" to 10'-0"	10'-1" to 12'-0"	12'-1" to 14'-0"	14'-1" to 16'-0"	16'-1" to 18'-0"	
1/2" diameter lag screw ¹ with 1/2" maximum sheathing	1" LVL	24"	16"	14"	12"	10"	9"	8"	
	1-1/2" Lumber	28"	21"	16"	14"	12"	10"	9"	
1/2" diameter bolt with 1/2" maximum sheathing	1" LVL	24"	18"	14"	12"	10"	9"	8"	
	1-1/2" Lumber	28"	21"	16"	14"	12"	10"	9"	
1/2" diameter bolt with 1/2" maximum sheathing and 1/2" stacked washers ^{2,3}	1" LVL	36"	36"	29"	24"	21"	18"	16"	
	1-1/2" Lumber	36"	36"	29"	24"	21"	18"	16"	

1. The top of the lag screw shall fully extend beyond the inside face of the band or rim joist.
 2. The minimum gap between the face of the ledger board and face of the wall sheathing shall be 1".
 3. Ledgers shall be finished or treated to prevent water from entering the house band joist (see Figures 14 and 15).
 4. Lag screws and bolts shall be staggered per Figure 18.
 5. Deck ledgers shall be minimum 2x4 pressure-treated No. 2 grade lumber or other approved materials as established by standard engineering practice.
 6. When solid sawn pressure-treated deck ledgers are attached to engineered wood products (maximum 1" thick wood structural panel band joist or structural composite lumber including laminated veneer lumber), the ledger attachment shall be designed in accordance with accepted engineering practice. Tabulated values based on 2:10 ft and 3:10 ft LVL rim joist, respectively.
 7. Wood structural panel sheathing, gypsum board sheathing, or floor sheathing shall be permitted between the band or rim joist and ledger. Stacked washers are permitted in combination with wood structural panel sheathing, but are not permitted in combination with gypsum board or floor sheathing. The minimum distance between the face of the ledger board and the face of the band joist shall be 1".
 8. Fastener spacing also applies to Southern Pine, Douglas Fir-Larch, and Hem-Fir band or rim joist.

American Wood Council

2 PRESCRIBED FASTENER SPACING
SCALE: NTS

Table 6. Minimum Tread Size for Cut and Solid Stringers.¹

Species	Cut Stringer	Solid Stringer
Southern Pine	2x4 or 5/4	2x8
Douglas Fir-Larch, Hem-Fir, SPF ²	2x4 or 5/4	2x8 or 3x4
Redwood, Western Cedars, Ponderosa Pine, ³ Red Pine ³	2x4 or 5/4	2x10 or 3x4

1. Assumes 300 lb concentrated load, L/288 deflection limit, No. 2 stress grade, and wet service conditions.
 2. Inching assumed for Douglas Fir-Larch, Hem-Fir, and Spruce-Pine-Fir.
 3. Design values based on northern species with no inching assumed.

3 MINIMUM TREAD SIZE FOR CUT AND SOLID STRINGERS
SCALE: NTS

Table 7. Trimmer Joist Hanger Vertical Capacity.

Joist Size	Minimum Capacity, lbs
2x6	870
2x8	1155
2x10	1420
2x12	1575

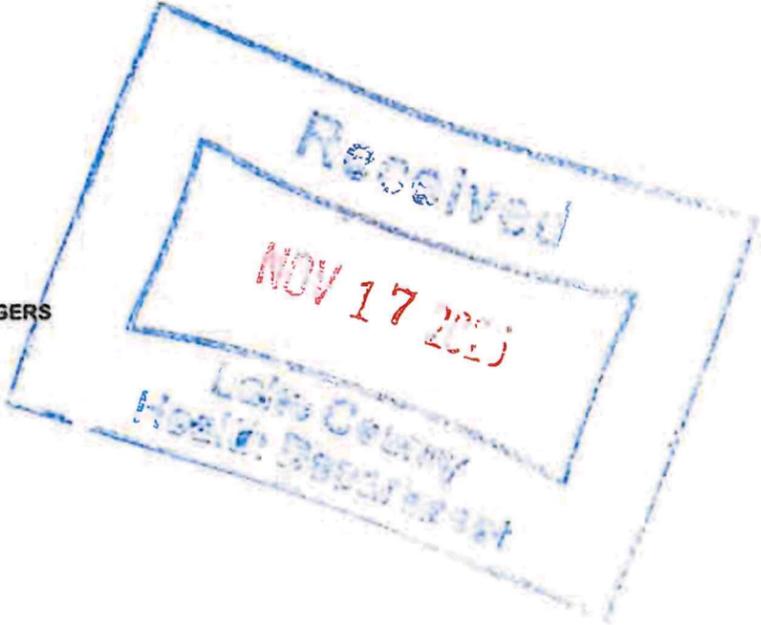
4 TRIMMER JOIST HANGER VERTICAL CAPACITY
SCALE: NTS

TABLE R507.2.1 PLACEMENT OF LAG SCREWS AND BOLTS IN DECK LEDGERS AND BAND JOISTS

	MINIMUM END AND EDGE DISTANCES AND SPACING BETWEEN ROWS			
	TOP EDGE	BOTTOM EDGE	ENDS	ROW SPACING
Ledger ^a	2 inches ^b	1/2 inch	2 inches ^c	1 1/2 inches ^d
Band Joist	1/2 inch	2 inches	2 inches ^e	1 1/2 inches ^d

For 2" x 4" and 2" x 6" joists:
 a. Lag screws or bolts shall be staggered from the top to the bottom along the horizontal run of the deck ledger in accordance with Figure R507.2.1(1).
 b. Maximum 5 inches.
 c. For engineered rim joists, the manufacturer's recommendations shall govern.
 d. The minimum distance from bottom row of lag screws or bolts to the top edge of the joist shall be in accordance with Figure R507.2.1(1).
 e. The minimum distance from bottom row of lag screws or bolts to the top edge of the joist shall be in accordance with Figure R507.2.1(1).

5 PLACEMENT OF LAG SCREWS AND BOLTS IN DECK LEDGERS AND BAND JOISTS:
SCALE: NTS



ERDMANN
OUTDOOR LIVING

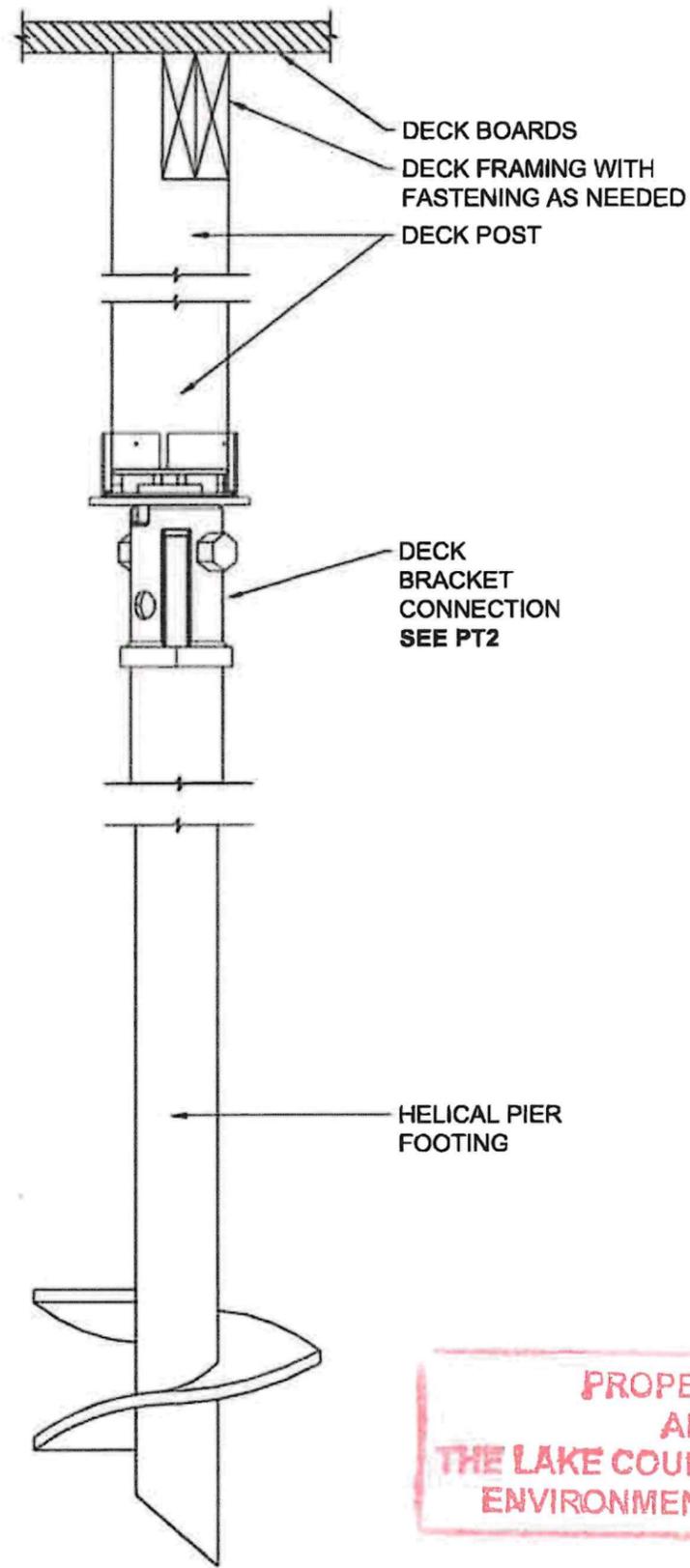
DECK DETAILS - PRESCRIPTIVE DESIGN TABLE

Rodrigo Drawings
21980 North Mayfield Lane
Deer Park, IL
60010

Date:
09/23/2025

Sheet:
XD3

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T5



Received
NOV 17 2025
Lake County
Health Department

PROPERTY ALTERATION
APPROVED BY
THE LAKE COUNTY HEALTH DEPARTMENT
ENVIRONMENTAL HEALTH SERVICES

ERDMANN
OUTDOOR LIVING

PIERTECH HELICAL PIER DETAILS -
DECK ONLY

Rodrigo Drawings
21980 North Mayfield Lane
Deer Park, IL
60010

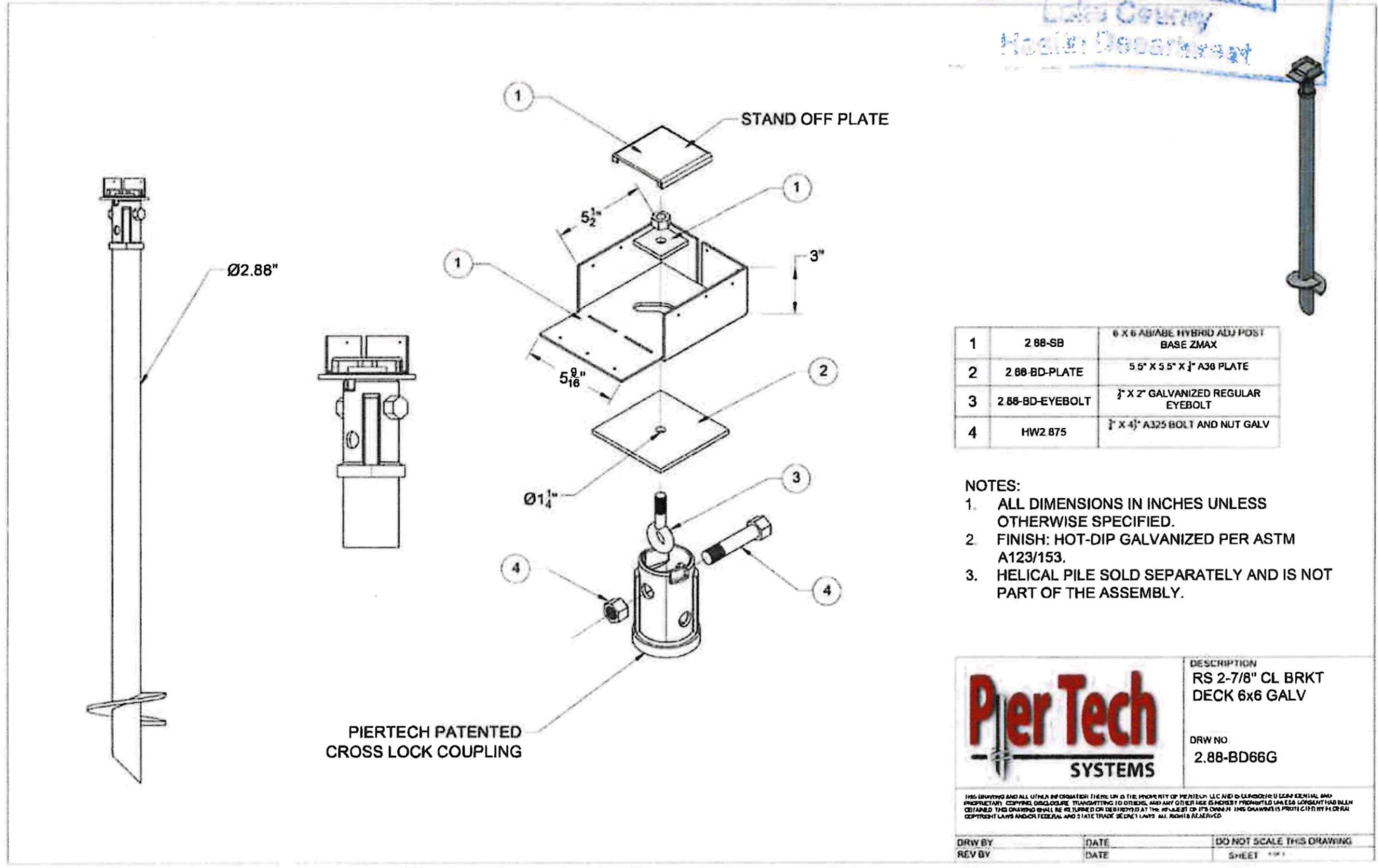
Date:
09/23/2025

Sheet:
PT1

A **PIERTECH HELICAL PIER DETAILS - DECK ONLY:**
SCALE: NTS

ALUMINUM TYPE
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T5

Received
 NOV 17 2025
 Lake County
 Health Department



1	2 88-SB	Ø X 6 A307/A308 HYBRID ADJ POST BASE ZMAX
2	2 88-BD-PLATE	5 5" X 5 5" X 1/2" A30 PLATE
3	2 88-BD-EYEBOLT	3/4" X 2" GALVANIZED REGULAR EYEBOLT
4	HW2 875	3/4" X 4 1/2" A325 BOLT AND NUT GALV

- NOTES:
1. ALL DIMENSIONS IN INCHES UNLESS OTHERWISE SPECIFIED.
 2. FINISH: HOT-DIP GALVANIZED PER ASTM A123/153.
 3. HELICAL PILE SOLD SEPARATELY AND IS NOT PART OF THE ASSEMBLY.

Per Tech SYSTEMS

DESCRIPTION
 RS 2-7/8" CL BRKT
 DECK 6x6 GALV

DRW NO
 2.88-BD66G

THIS DRAWING AND ALL OTHER INFORMATION THEREON IS THE PROPERTY OF PERTECH, LLC AND IS CONFIDENTIAL AND PROPRIETARY. COPIES, DISCLOSURE, TRANSMISSION TO OTHERS, AND ANY OTHER USE IS EXPRESSLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF PERTECH, LLC. THIS DRAWING IS PROTECTED BY FLORIDA COPYRIGHT LAWS AND/OR FEDERAL AND STATE TRADE SECRET LAWS. ALL RIGHTS RESERVED.

DRW BY	DATE	DO NOT SCALE THIS DRAWING
REV BY	DATE	SHEET

PERDMANN
 OUTDOOR LIVING

PIERTECH HELICAL PIER DETAILS -
 DECK BRACKET

Rodrigo Drawings
 21980 North Mayfield Lane
 Deer Park, IL
 60010

Date:
 09/23/2025

Sheet:
 PT2

A **PIERTECH HELICAL PIER DETAILS - DECK BRACKET:**
 SCALE: NTS

PROPERTY ALTERATION
 APPROVED BY
 THE LAKE COUNTY HEALTH DEPARTMENT
 ENVIRONMENTAL HEALTH SERVICES

received

NOV 17 2025

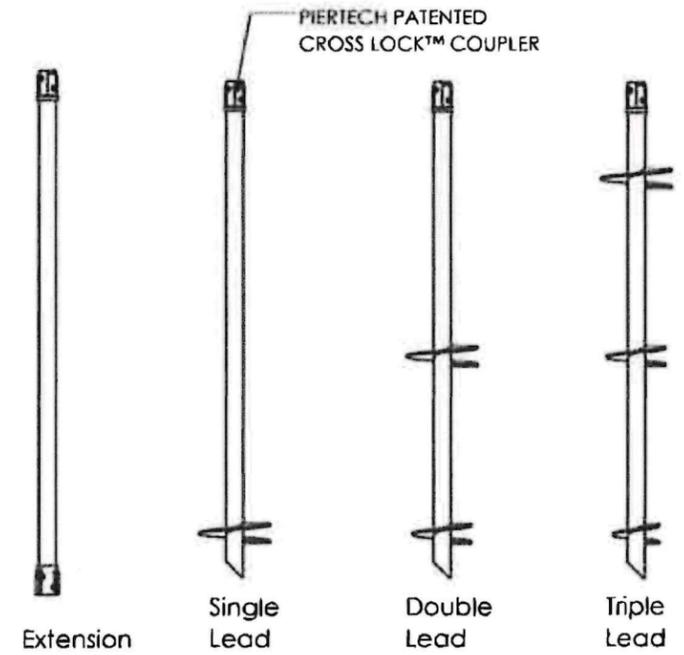
Lake County Health Department

ROUND SHAFT 2-7/8" X .203 WALL HELICAL PILES

REVISIONS						
REV	ECO	DESCRIPTION	BY	DATE	CHECK	DATE

Properties and Specifications	
Shaft	RS 2-7/8" x .203W ASTM A500 Grade B/C, Fy=60ksi, Fu=70ksi
Helix*	8", 10", 12", 14" OD .375" Thickness 3" Pitch ASTM A572
Coupler	Patented Cross Lock™ ASTM A915-A915M Fy=116ksi, Fu=123.3ksi
Bolts	(2) 3/4" Grade 5 Min.
Finish	Bare Steel, Galvanized
Torque	
Maximum Torque**	8,290 ft-lbs
Capacity to Torque Ratio	9 (1/ft)
Capacity by Torque	
Ultimate Capacity Based on Torque***	74 kips
Allowable Capacity Based on Torque	37 kips
Structural Capacity	
Allowable Structural Capacity (Comp.)***, *-	48 kips
Allowable Structural Capacity (Ten.)***, *-	44 kips

Helical Piles offer unique advantages over other deep foundation system, including rapid installation, improved bearing support, and lack of waste (excavated soils). The below Pier Tech Systems® (PTS) products are manufactured to internal quality standards using USA sourced steel, when applicable. Joining of helical pile components is provided by PTS patented Cross Lock™ splined coupler allowing ease of connection between components as well as achieving a rigid joint of higher torsional capacity. The torsional rating of the helical pile is defined in accordance with AISC 360 and/or ICC-AC308 (laboratory testing or computational methods). Structurally, the helical piles include a reduction in capacity to account for corrosive soil attack inclusive of loss of section (bare steel). Such reduction is based on a design period of 50 years for soils of moderate to high resistivity and acidic to base pH levels. PTS recommends that actual capacity of helical piles be determined through consultation with licensed professional engineer with consultation of geotechnical consultant, whenever possible. Helical piles are available in standard and custom lengths with helix configurations.



Note: The above helical pile capacities imply installation into suitable bearing stratum at appropriate depth. Listed axial compressive load based on installation achieving the recommended maximum torque per noled soil factor under simple axial loading. Such capacity excludes necessary reduction due to combined stress from lateral loading or induced moment applied to pile head. PTS recommends consultation with licensed design engineer to establish allowable structural, and geotechnical design capacity of helical piles. As deep foundation system, PTS recommends the upper most helix (light) be installed no less than 5 times the helix outside diameter, unless otherwise assessed by licensed design professional.

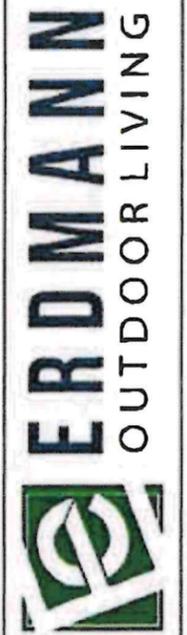
PROPERTY ALTERATION
 APPROVED BY
 THE LAKE COUNTY HEALTH DEPARTMENT
 ENVIRONMENTAL HEALTH SERVICES



DRAWN	KE	5/8/23	DIMENSIONS ARE IN INCHES
CHECKED	MW	5/8/23	PROPRIETARY AND CONFIDENTIAL
MATERIAL	VARIES		
FINISH	BARE/GALV		

RS 2-7/8" X .203W CUT SHEET	
SIZE	2.87-CUTSHEET
REV	0

A PIERTECH HELICAL PIER DETAILS - PIER SPECIFICATIONS:
SCALE: NTS



PIERTECH HELICAL PIER DETAILS - PIER SPECIFICATIONS

Rodrigo Drawings
21980 North Mayfield Lane
Deer Park, IL 60010

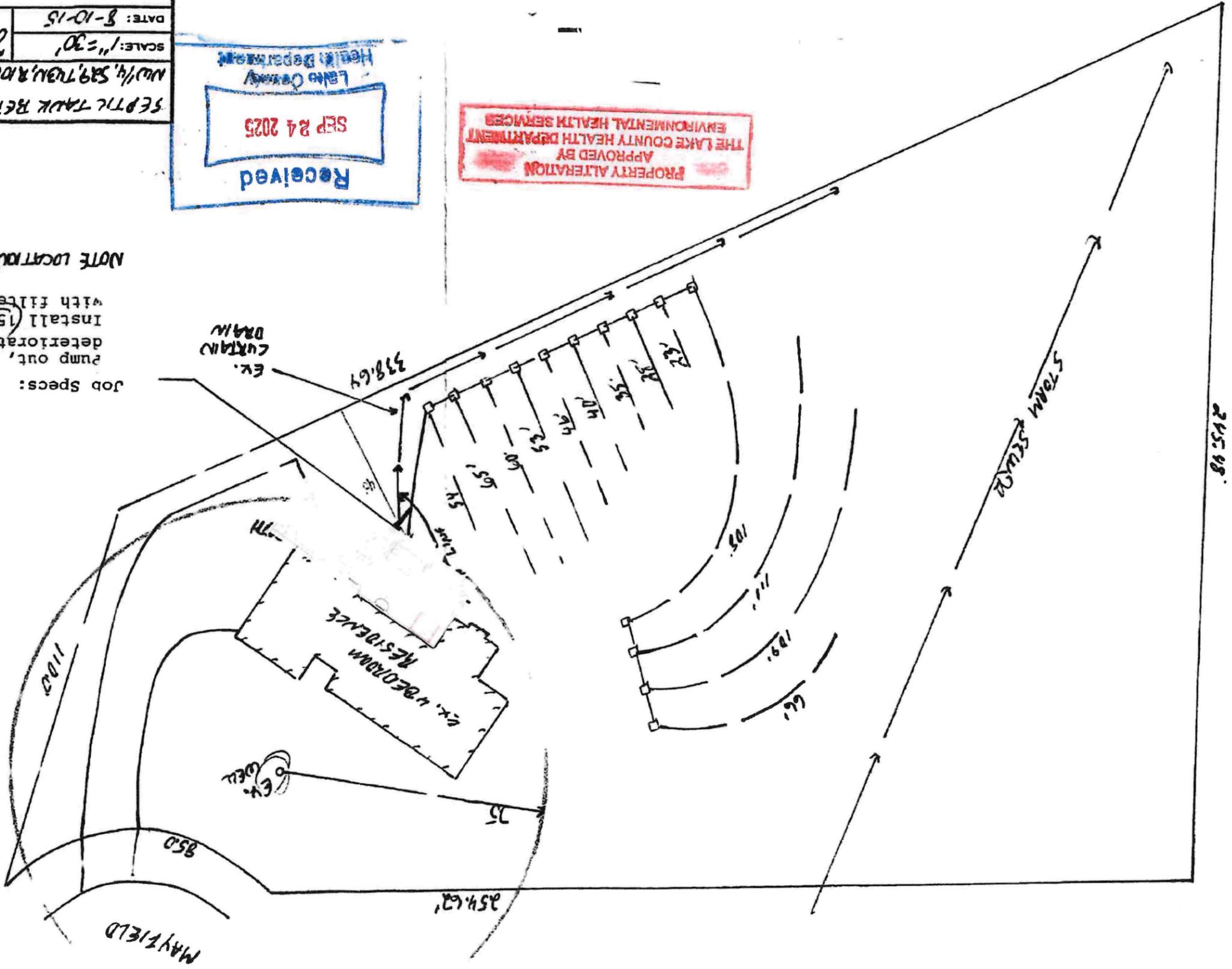
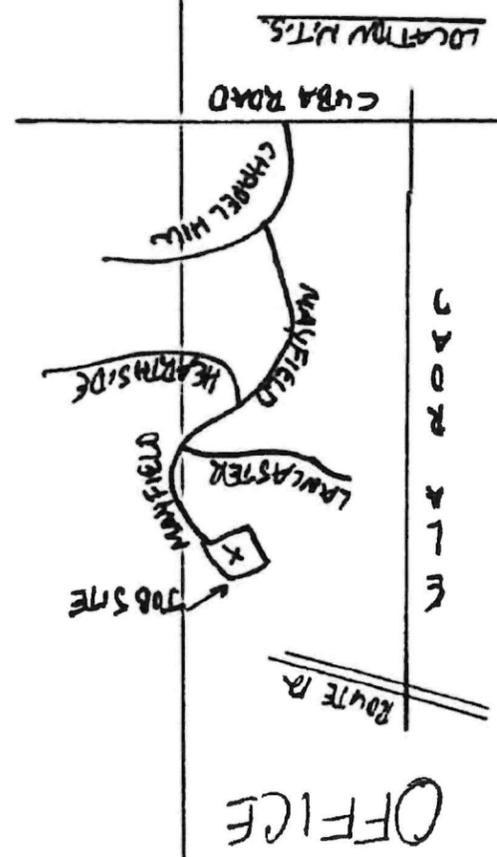
Date:
09/23/2025
Sheet:
PT3

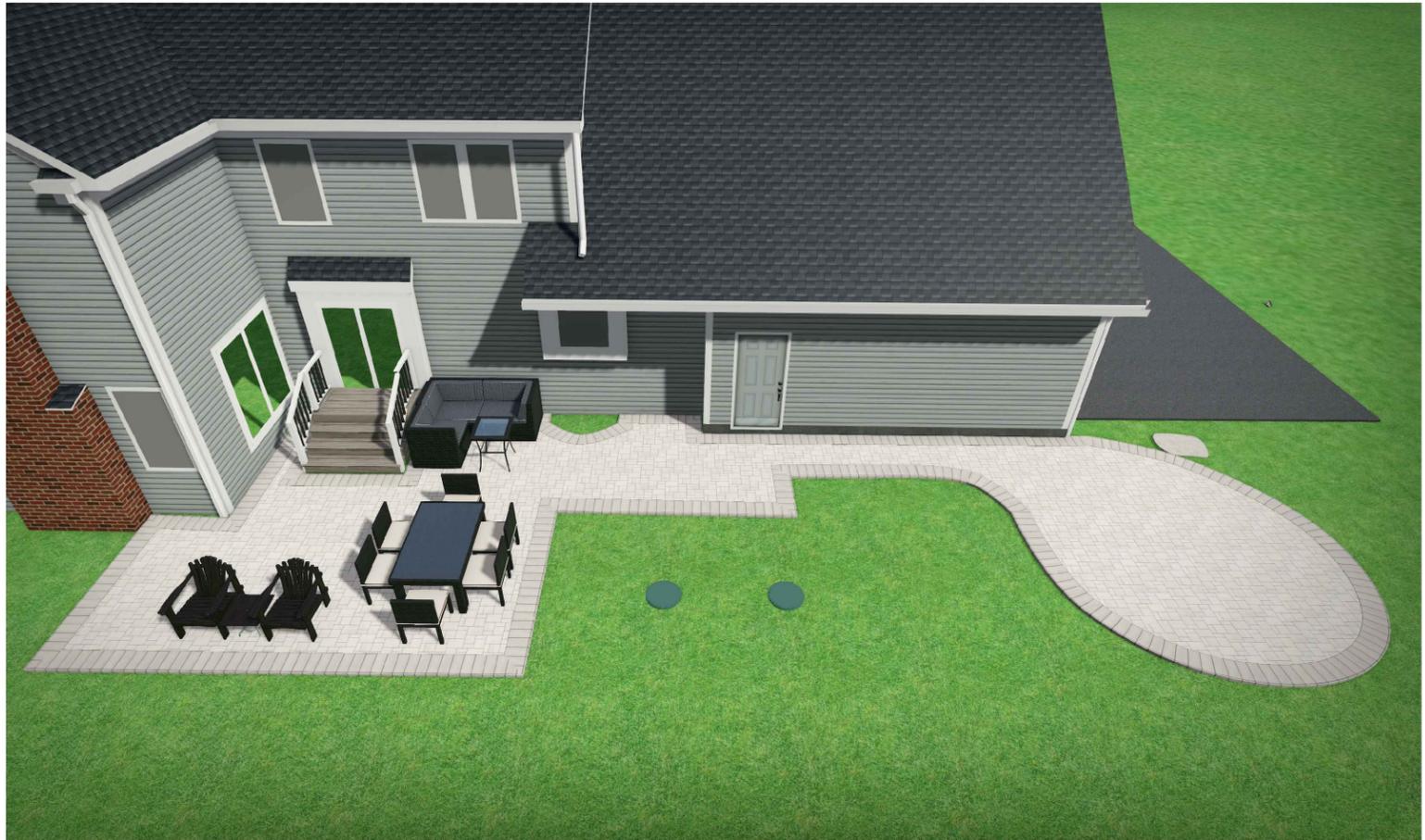
DRAWING NUMBER: LAKE-COOK TRAXXING INC. BY-7-526-0799
 1510 N. OLD ROAD ROAD WILMINGTON IL 60084
 FOR: JAMES + MARILEA TRERAC
 21980 MAYFIELD LAKE DEER PARK IL 60010
 DATE: 8-10-15
 SCALE: 1"=30'
 APPROVED BY: DRILL ISD 88-6-589
 DRAWN BY: E.K.
 REVISIONS:
 APPROVED BY: M.W.H. SAUTER, R.O.E. P.L.A. 14-29-102-051
 SEPTIC TANK REPLACEMENT. LOT 6 CHADEL HILL SUBD.

Received
 SEP 24 2025
 Lake County Health Department

PROPERTY ALTERATION
 APPROVED BY
 THE LAKE COUNTY HEALTH DEPARTMENT
 ENVIRONMENTAL HEALTH SERVICES

Job Specs:
 pump out, collapse and remove existing deteriorated septic tank
 install 1500 gallon/2 compartment tank with filter
 NOTE LOCATION OF SAND DISCHARGE + EX. CURTAIN DRAIN





Rodrigo Drawings For Permit

21980 North Mayfield Lane
Deer park, IL
60010

LANDING, STAIRS AND PATIO SHEET SET INDEX

DATE	REV #	SHEET ID	SHEET DESCRIPTION
11/14/2025	2	COVER	COVER SHEET
		GD1	GENERAL DECK NOTES
12/17/2025	3	A0	SITE PLAN
11/14/2025	2	A1	EXISTING CONDITIONS DIMENSION PLAN
11/14/2025	2	A2	PROPOSED PROJECT FLOOR PLAN
11/14/2025	2	A3	DECK FRAMING PLAN
11/14/2025	2	A4	DECK FLOOR PLAN
11/14/2025	2	A5	PATIO FLOOR PLAN
		XD1	DECK DETAILS: GENERAL CONSTRUCTION
		XD2	DECK DETAILS: STAIRS AND RAILINGS
		XD3	DECK DETAILS: PRESCRIPTIVE DESIGN TABLES
		PT1	PIERTECH HELICAL PIER DETAILS: DECK ONLY
		PT2	PIERTECH HELICAL PIER DETAILS: DECK BRACKET
		PT3	PIERTECH HELICAL PIER DETAILS: SPECIFICATIONS

PROJECT SCOPE:

PROPOSED NEW DECK LANDING, STAIRS, AND PAVER PATIO TO BE INSTALLED WITH REGARD TO CLEARANCE REQUIRED AROUND EXISTING SEPTIC TANK AND COVERS. TEMPORARY BARRIER TO PREVENT ACCESS THROUGH EXISTING SLIDING DOOR TO BE INSTALLED. CLEARANCE AROUND EXISTING SEPTIC TANK TO BE MAINTAINED.

PROJECT CALCULATIONS:

EXISTING LOT SQ. FOOTAGE: 54,844 SQ. FT.
EXISTING IMPERVIOUS SURFACE AREA: 2216.79 SQ. FT.
SCOPE OF DEMO SQ. FOOTAGE: 400.79 SQ. FT.
PROPOSED PROJECT SQ. FOOTAGE: 817 SQ. FT

ALL WORK TO CONFORM TO ADOPTED CODES OF THE VILLAGE OF: DEERPARK, IL
OF THE COUNTY OF: LAKE COUNTY

- 2024 INTERNATIONAL BUILDING CODE (IBC)
- 2024 RESIDENTIAL CODE (IRC)
- 2024 INTERNATIONAL MECHANICAL CODE (IMC)
- 2024 INTERNATIONAL FIRE CODE (IFC)
- 2023 NATIONAL ELECTRICAL CODE (NEC)
- 2024 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2024 NFPA 101 - LIFE SAFETY CODE

SEE ADDITIONAL DESIGN CRITERIA SHEET G2.

SITE VIEWS:



APPLICABLE CODES:

THIS PROJECT HAS BEEN DESIGNED PER THE CODES ADOPTED BY THE VILLAGE OF:

DEERPARK, IL

VILLAGE CODES:

- 1. 2024 INTERNATIONAL BUILDING CODE (IBC)
- 2. 2024 RESIDENTIAL CODE (IRC)
- 3. 2024 INTERNATIONAL MECHANICAL CODE (IMC)
- 4. 2024 INTERNATIONAL FIRE CODE (IFC)
- 5. 2023 NATIONAL ELECTRICAL CODE (NEC)
- 6. 2024 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 7. 2024 NFPA 101 - LIFE SAFETY CODE

PROJECT SPECIFIC NOTES:

- 1. USE 2"X8" TREATED FLOOR JOISTS SPACED 12" O.C.
- 2. DECK/TREAD/SINGLE BORDER
COLOR: TIMBERTECH AZEK: HARVEST - SLATE GRAY
- 3. RAILINGS AND INFILL: IMPRESSIONS RAIL EXPRESS
COLOR: CLASSIC RAIL TOP, WHITE RAILINGS, BLACK BALUSTERS

GENERAL NOTES:

- 1. ALL DECKING AND TRIM WILL BE INSTALLED USING FACE SCREWS WITH CORTEX PLUGS.
- 2. INSTALL 'FASTEN MASTER' JOIST PROTECTION ON ALL JOISTS AND HEADERS.
- 3. GUARDRAIL CONSTRUCTION SHALL COMPLY WITH 2018 IRC, SECTION R312.1 & R301.5.
- 4. A GRASPABLE HANDRAIL SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 43 OR MORE RISERS. HAND RAIL SHALL BE NOT LESS THAN 34" HIGH AND NOT MORE THAN 38" MEASURED AT THE STAIR.
- 5. R311.7.8.1 REQUIRED HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT FROM THE POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT FROM THE POINT DIRECTLY ABOVE THE LOWEST RISE OF THE FLIGHT, HAND RAILS SHALL BE RETURNED AND TERMINATE IN A NEWEL POST R311.7.8.4.
- 6. ALL STRUCTURAL FRAMING MATERIALS TO BE #2 GRADE OR BETTER PRESERVATIVE TREATED PER SECTION R301 USING THE WET SERVICE FACTOR DEFINED IN AWC NDS.
- 7. CUT, NOTCHED, AND DRILLED HOLES SHALL BE TREATED IN ACCORDANCE WITH SECTION R317.1.1.
- 8. ALL TREATED WOOD SHALL BE LABELED AS GROUND.
- 9. WHERE 2 MEMBERS ARE REQUIRED AS A NEW BEAM, BEAM PILES SHALL BE FASTENED WITH A MINIMUM OF 2 ROWS 10D 3"X0.128" GALVANIZED NAILS WITH 2 NAILS AT EACH END. BEAMS SHALL BE ALLOWED TO CANTILEVER UP TO 1/4 OF THE ALLOWABLE BEAM SPAN.
- 10. SIMPSON AB66 AND THE H2.5 HURRICANE TIES ACT AS HOLD DOWN DEVICES.
- 11. ALL STRUCTURAL DECK MATERIALS TO BE OF PRESSURE PRESERVATIVE TREATED LUMBER.
- 12. ALL LEDGER FASTENERS TO BE FASTENMASTER LEDGERLOKS. SEE 5/XD21 FOR SPACING AND STAGGER PATTERNS FOR SOUTHERN PINE PRESSURE PRESERVATIVE TREATED WOOD.
- 13. INSTALL SIMPSON STRONG-TIE DTT1Z (TOP) AND Mi/TeK/USP DTB-TZ (BOTTOM) AT LEDGER CONNECTION TO DECK NO MORE THAN 24" INWARD FROM END OF DECK WITH AT LEAST 1,500 LB CAPACITY OR MORE.

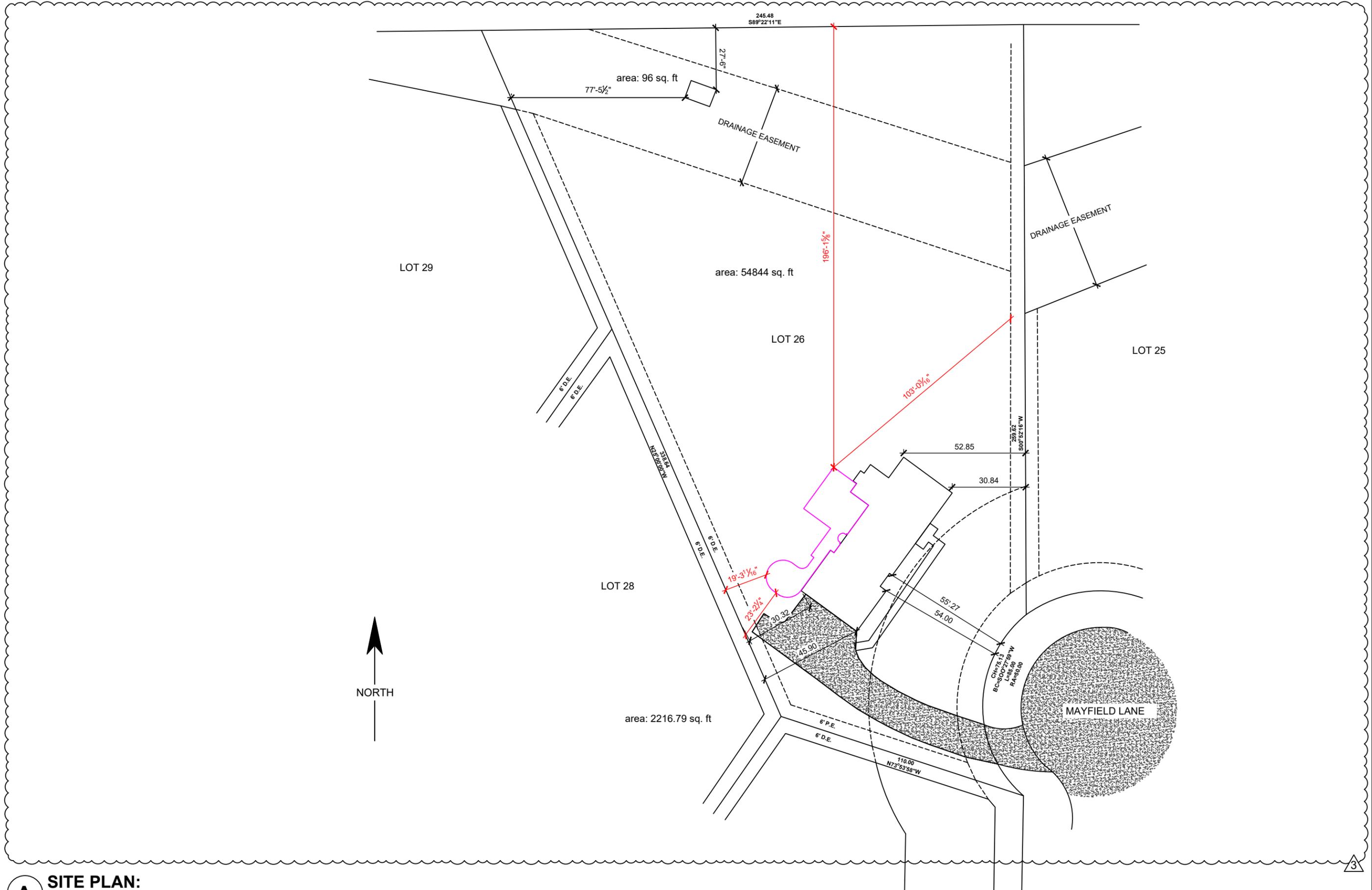


GENERAL DECK NOTES

PROJECT NAME:
Rodrigo Drawings
 21980 North Mayfield Lane
 Deer Park, IL
 60010

Date:
 09/23/2025

Sheet:
 GD1



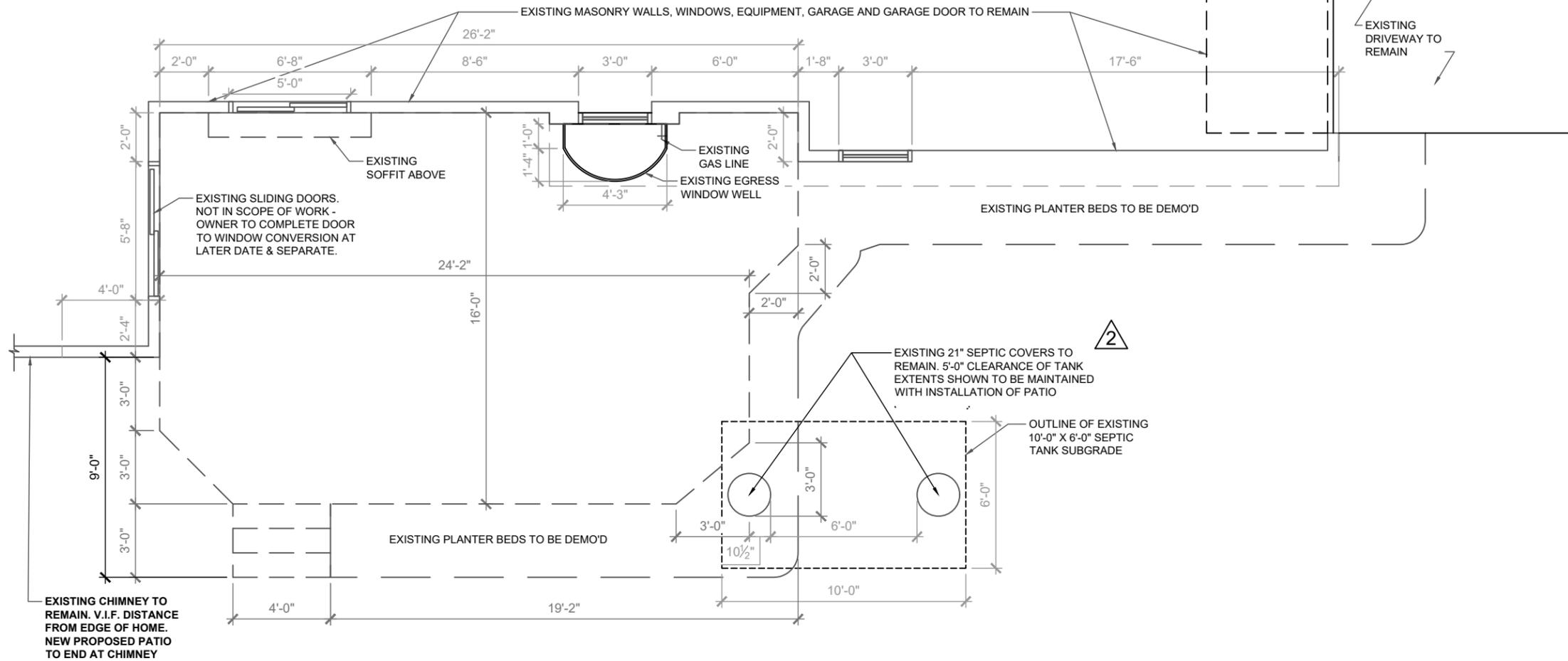
A SITE PLAN:

SHEET TITLE
SITE PLAN

PROJECT NAME:
Rodrigo Drawings
21980 North Mayfield Lane
Deer Park, IL
60010

Date:
09/23/2025

Sheet:
A0



LEGEND:

- EXISTING WALLS/HOME
- - - - - EXTENT OF DEMO

PROJECT SPECIFIC NOTES:

- EXISTING DECK AND POSTS TO BE DEMO'D AND REMOVED.
- EXISTING Ø 21" SEPTIC TANK AND COVERS TO REMAIN.
- EXISTING DECK 1'-0" ABOVE FOUNDATION AND 2'-0" ABOVE GRADE TO BE DEMO'D AND REMOVED. AREA TO BE PREPPED FOR NEW CONSTRUCTION
- EXISTING PLANTER BEDS TO BE DEMO'D AND REMOVED FOR NEW CONSTRUCTION.



A EXISTING CONDITIONS DIMENSION PLAN:
SCALE: $\frac{3}{16}" = 1'-0"$

B AERIAL VIEW OF SITE
SCALE: NTS

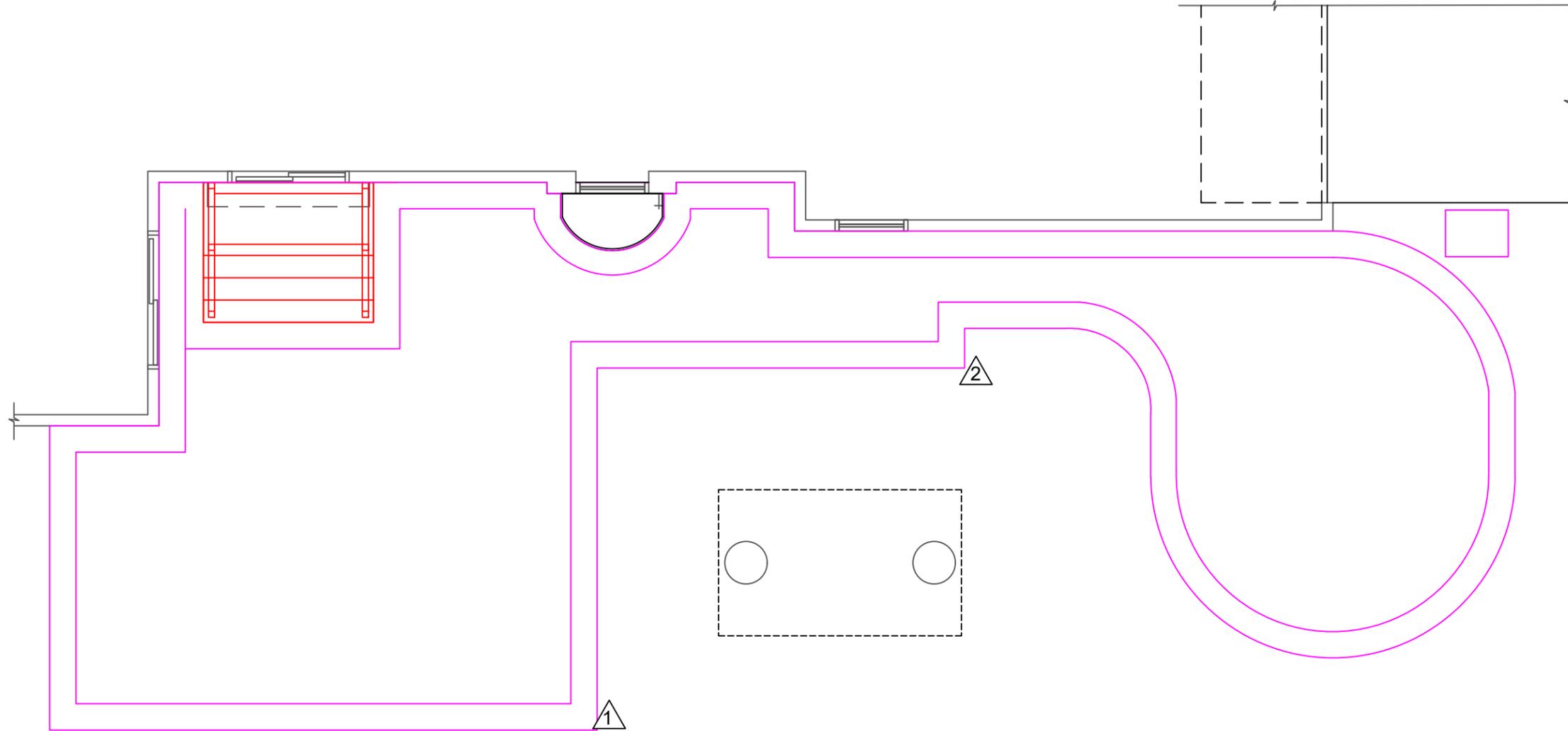


SHEET TITLE
EXISTING CONDITIONS DIMENSION PLAN

PROJECT NAME:
Rodrigo Drawings
21980 North Mayfield Lane
Deer Park, IL
60010

Date:
09/23/2025

Sheet:
A1



LEGEND:
 — EXISTING WALLS/HOME
 — NEW DECK
 — NEW PATIO



A PROJECT FLOOR PLAN:
SCALE: 1/4" = 1'-0"

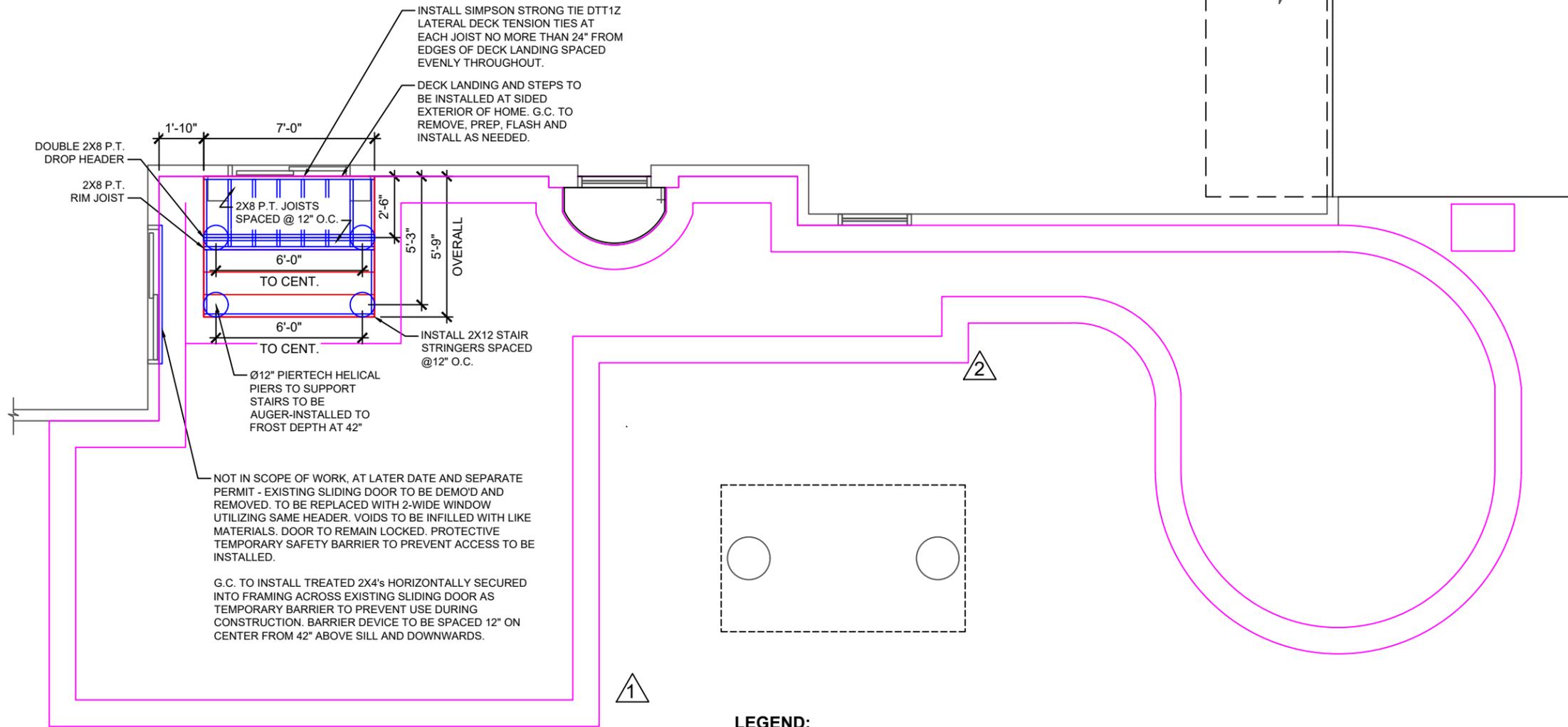
B 3D RENDERING
SCALE: NTS

SHEET TITLE
PROJECT FLOOR PLAN

PROJECT NAME:
Rodrigo Drawings
21980 North Mayfield Lane
Deer Park, IL
60010

Date:
09/23/2025

Sheet:
A2



PROJECT SPECIFIC NOTES:

- DECK TO BE FREESTANDING AND INSTALLED ADJACENT TO EXISTING MASONRY WALLS OF HOME
- Ø12" ROUND SHAFT 2 - 7/8" X 0.203W PIERTECH HELICAL PIERS TO BE INSTALLED BELOW FROST LINE AT 42" TO SUPPORT LANDING INSTALLATION.
- PROVIDE 4" CONCRETE PAD AND CONCRETE PIERS BELOW STAIR STRINGERS TO SUPPORT STAIRS
- MAIN DECKING/TREADS/SINGLE BORDER/RISERS/FASCIA:
STYLE: TIMBERTECH AZEK HARVEST
COLOR: SLATE GRAY
- FOR RAILS:
STYLE: IMPRESSIONS RAIL EXPRESS
COLOR: WHITE MODERN TOP & BOTTOM RAILS, AND BLACK BALUSTERS



LEGEND:

- NEW DECK FRAMING
- NEW DECK & STAIRS
- NEW PATIO
- EXISTING HOUSE/WALLS
- Ø12" HELICAL PIER

FRAMING NOTES:

1. ALL HEADERS TO BE THROUGH BOLTED IN THE 6X6 SUPPORT POSTS AND ALL POSTS TO BE ATTACHED TO PIERTECH HELICAL PIERS.
2. ASSUME SOIL BEARING CAPACITY AT 3,500 PSF AT 42" REQUIRED FROST DEPTH.
3. CONCEALED FLANGE HANGERS TO BE USED ON END JOISTS AT ALL LOCATIONS.
4. JOIST HANGERS ARE TO BE USED AT ALL JOISTS AND BEAM CONNECTIONS.
5. ALL LEDGER FASTENERS TO BE FASTENMASTER LEDGERLOKS. SEE 5/XD1 FOR SPACING AND STAGGER PATTERNS FOR SOUTHERN PINE PRESSURE PRESERVATIVE TREATED WOOD.
6. SPANS FOR 2X8 BEAMS TO FOLLOW PRESCRIBED SPAN LENGTHS PER IRC R507.2 AND PROCEEDING TABLES.
7. FOR INFORMATION REGARDING HELICAL PIERS, SEE SHEETS 'PT1' & 'PT2' FOR DETAILS.
8. PROVIDE BLOCKING THROUGHOUT AS NEEDED FOR RAILING AND DECK BOARD EDGE FASTENING SUPPORT.

A DECK FRAMING PLAN:
SCALE: 3/16" = 1'-0"

B 3D RENDERING
SCALE: NTS

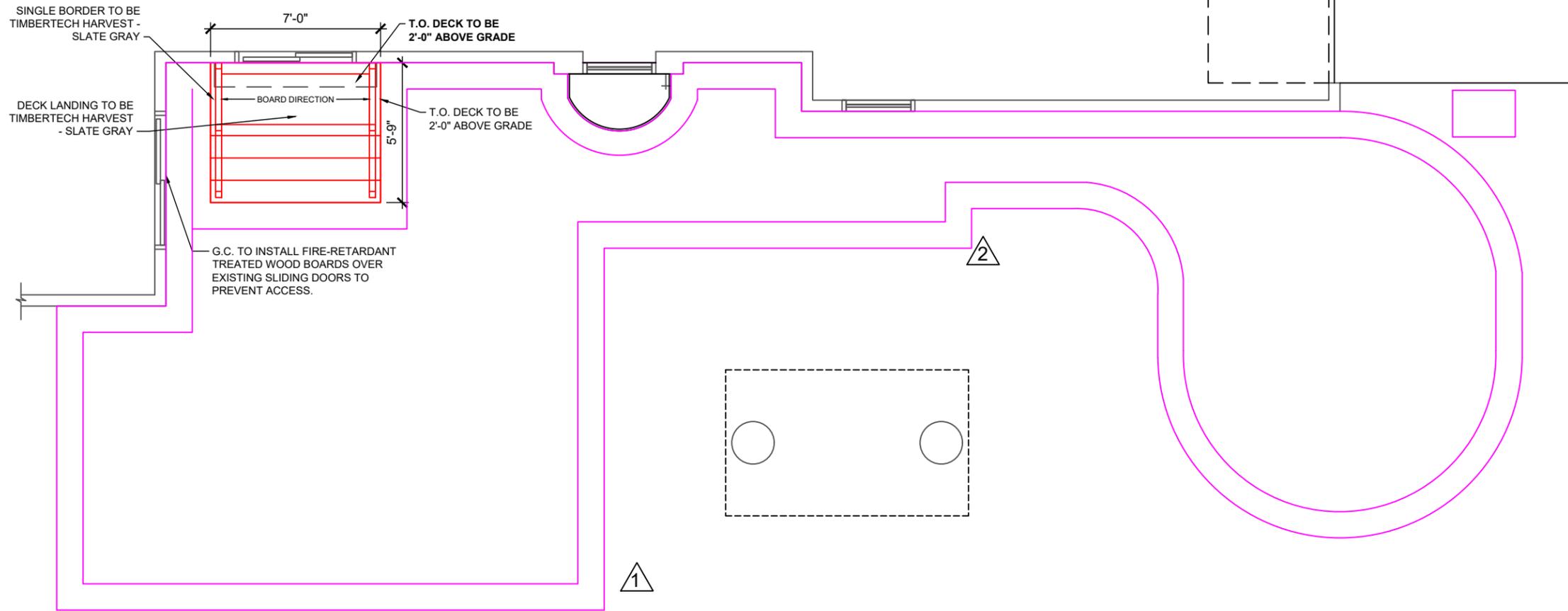


SHEET TITLE
DECK FRAMING PLAN

PROJECT NAME:
Rodrigo Drawings
21980 North Mayfield Lane
Deer Park, IL
60010

Date:
09/23/2025

Sheet:
A3



LEGEND:

- NEW DECK
- NEW PATIO
- EXISTING HOUSE/WALLS

PROJECT SPECIFIC NOTES:

- DECK LANDING AND STAIRS TO BE INSTALLED CENTERED ON EXISTING SLIDING BACK DOOR.
- MAIN DECKING/TREADS/SINGLE BORDER/RISERS/FASCIA:
STYLE: TIMBERTECH AZEK HARVEST
COLOR: SLATE GRAY
- FOR RAILS:
STYLE: IMPRESSIONS RAIL EXPRESS
COLOR: WHITE MODERN TOP AND BOTTOM RAILINGS WITH BLACK BALUSTERS



A DECK FLOOR PLAN:
SCALE: $\frac{3}{16}$ " = 1'-0"

B 3D RENDERING
SCALE: NTS

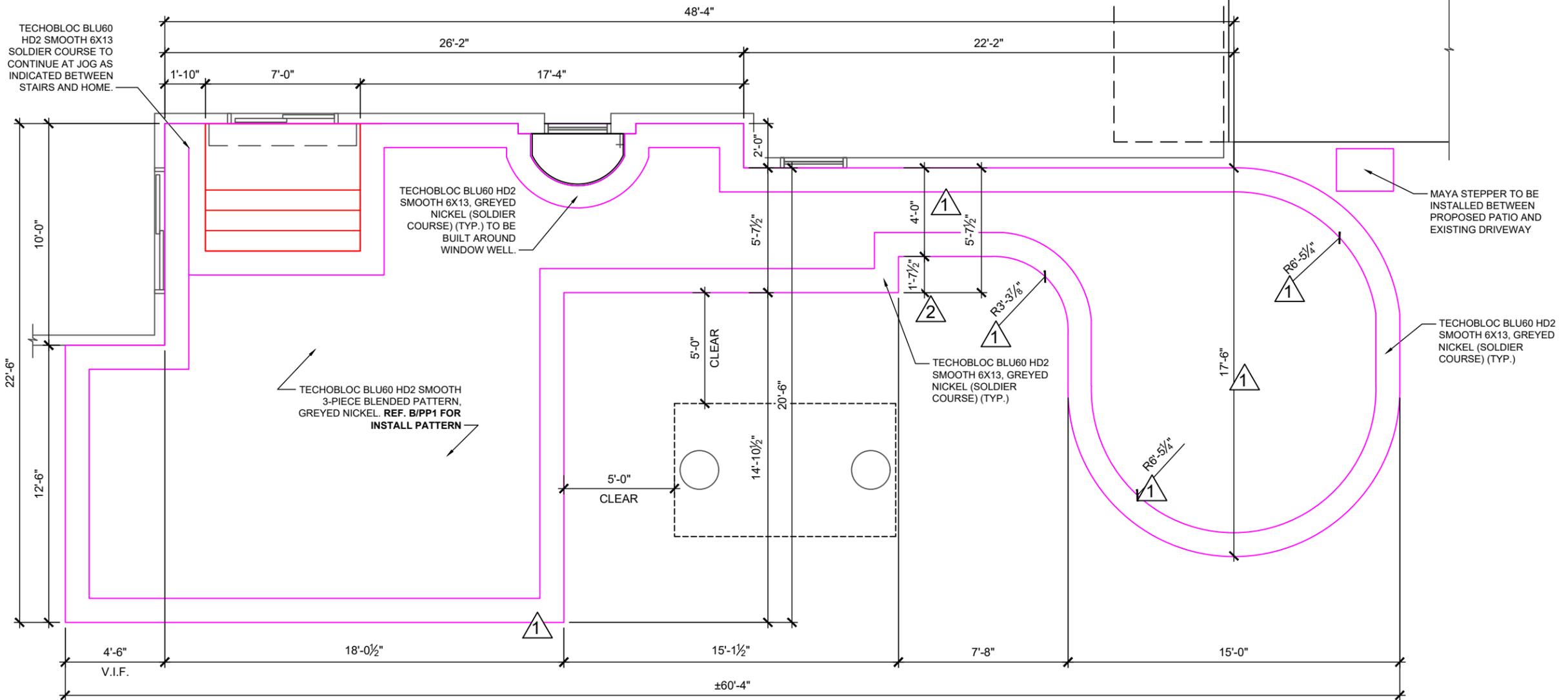
SHEET TITLE
DECK FLOOR PLAN

PROJECT NAME:
Rodrigo Drawings
21980 North Mayfield Lane
Deer Park, IL
60010

Date:
09/23/2025

Sheet:
A4





LEGEND:

- NEW PATIO
- NEW DECK LANDING AND STAIRS
- EXISTING HOUSE/WALLS

PROJECT SPECIFIC NOTES:

- **MAIN PATIO:** TECHOBLOC BLU 60 HD2 SMOOTH, 3-PIECE BLENDED PATTERN
COLOR: GREYED NICKEL
INSTALL PATTERN: MODERN 01
- **MAIN PATIO BORDER:** TECHOBLOC BLU60 HD2 SMOOTH 6X13, GREYED NICKEL (SOLDIER COURSE)
- **WALKWAY:** TECHOBLOC MAYA STEPPERS
COLOR: VICTORIA

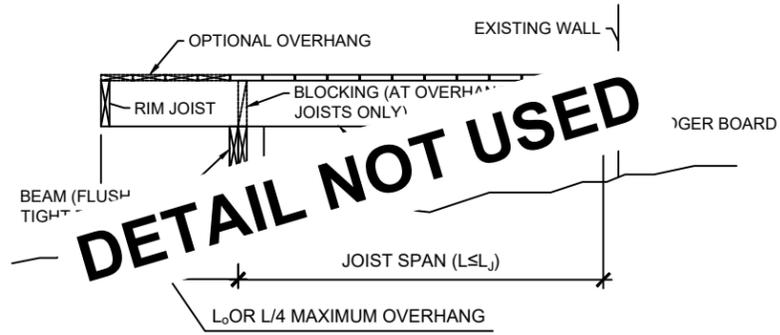
01 | Modular



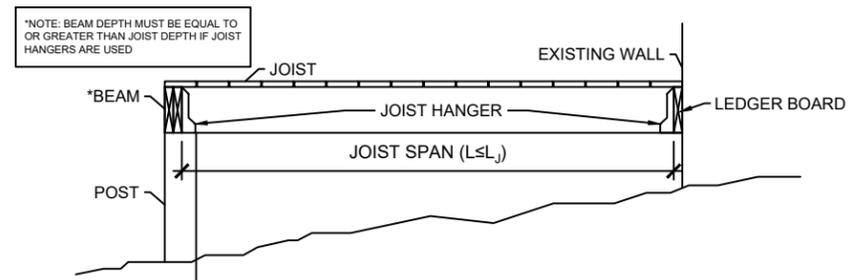
A PATIO FLOOR PLAN:
SCALE: $\frac{3}{16}$ " = 1'-0"

B INSTALL PATTERN
SCALE: NTS

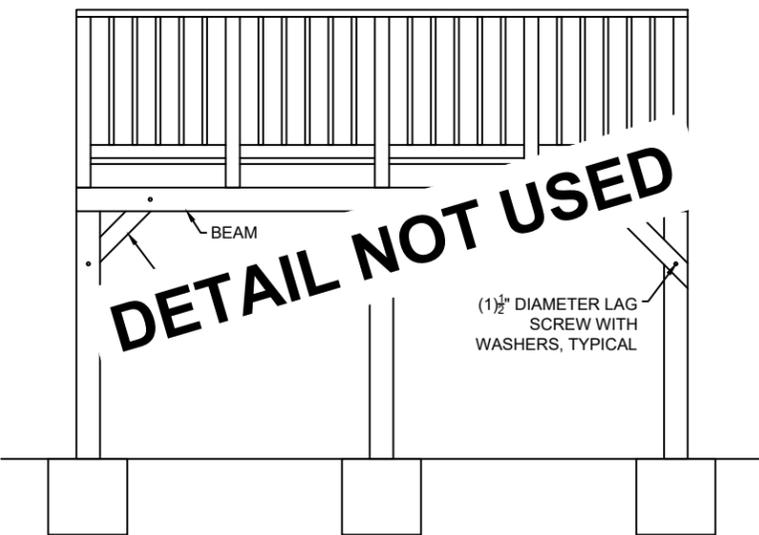
C INSTALL PATTERN
SCALE: NTS



1 JOIST SPAN - DECK ATTACHED AT HOUSE AND BEARING OVER BEAM
SCALE: NTS

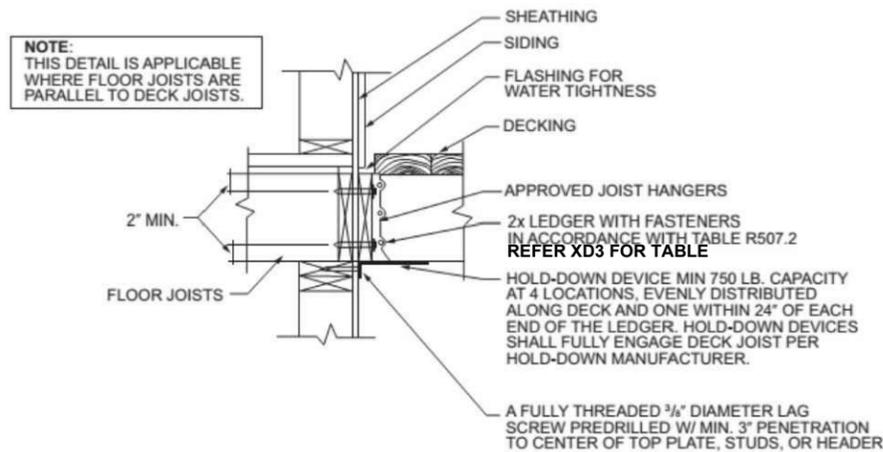


2 JOIST SPAN - JOISTS ATTACHED AT HOUSE AND TO SIDE OF BEAM
SCALE: NTS

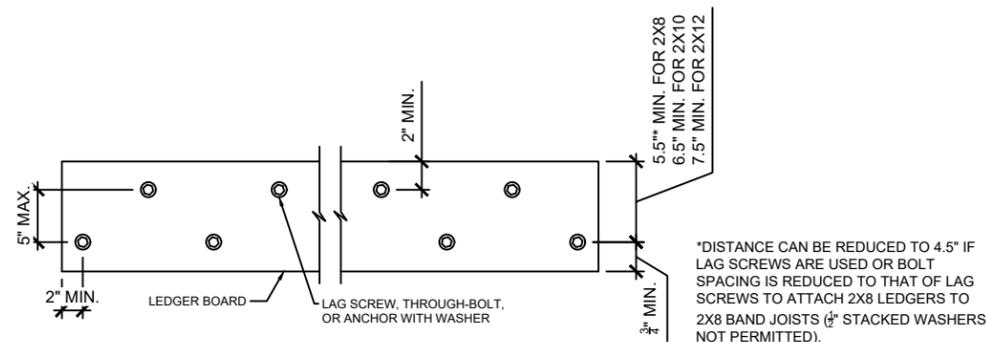


DIAGONAL BRACING PARALLEL TO BEAM
NOTE: DIAGONAL BRACING IS PROHIBITED ON CENTER POSTS

3 DIAGONAL BRACING REQUIREMENTS
SCALE: NTS



4 DECK ATTACHMENT FOR LATERAL LOADS WITH PARALLEL FLOOR JOISTS TO DECK JOISTS:
SCALE: NTS



THROUGH BOLTS
THROUGH BOLTS SHALL HAVE A DIAMETER OF 1/2\"/>

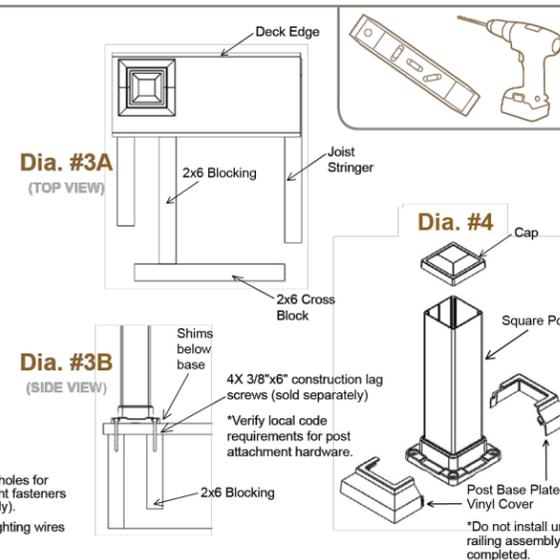
LAG SCREWS
LAG SCREWS SHALL HAVE A DIAMETER OF 1/2\"/>

EXPANSION AND ADHESIVE ANCHORS
USE APPROVED EXPANSION OR ADHESIVE ANCHORS WHEN ATTACHING A LEDGER BOARD TO A CONCRETE OR SOLID MASONRY WALL. EXPANSION AND ADHESIVE ANCHOR BOLTS SHALL HAVE A DIAMETER OF 1/4\"/>

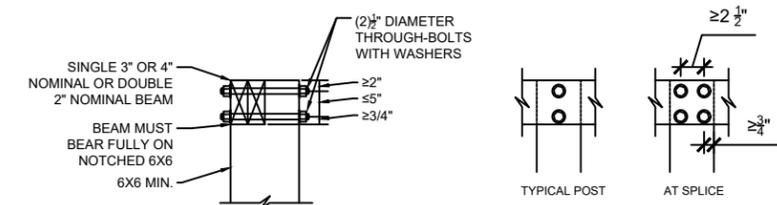
5 LEDGER BOARD FASTENER SPACING AND CLEARANCES
SCALE: NTS

2 How to Secure 3\"/>

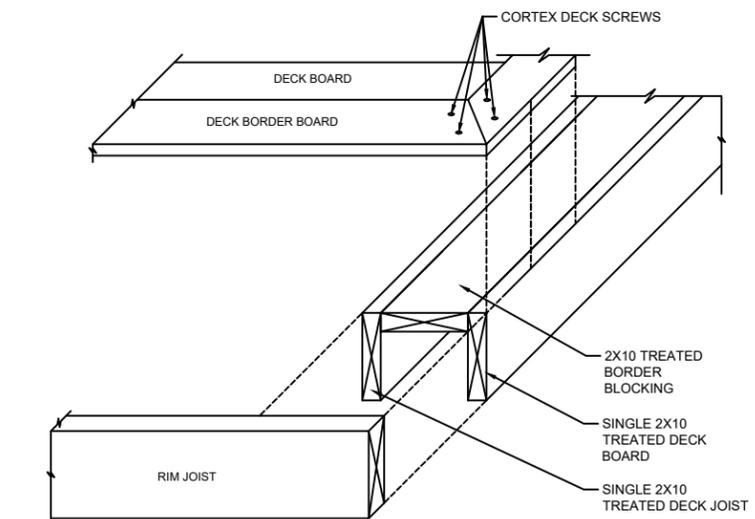
- Install proper post blocking (Dia. #3A & 3B). Use proper attachment screws or anchors shown in diagram. (Hardware for post attachment are not provided with the posts.)
- With 3/16\"/>



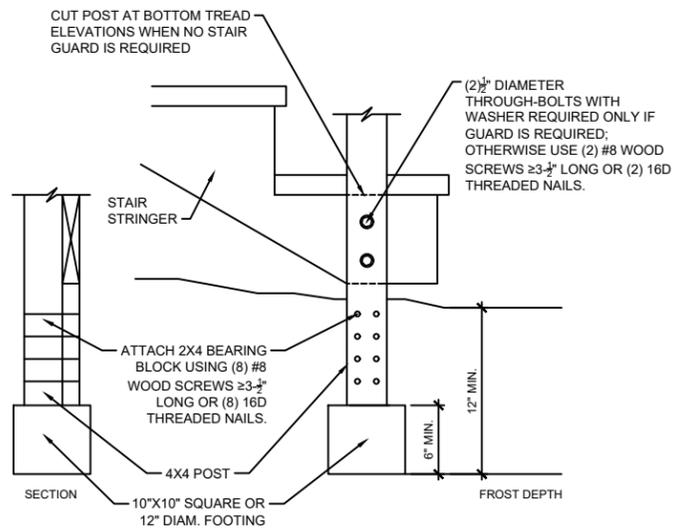
6 GUARD POST TO RIM JOIST EXAMPLE
SCALE: NTS



7 POST-TO-BEAM ATTACHMENT
SCALE: NTS

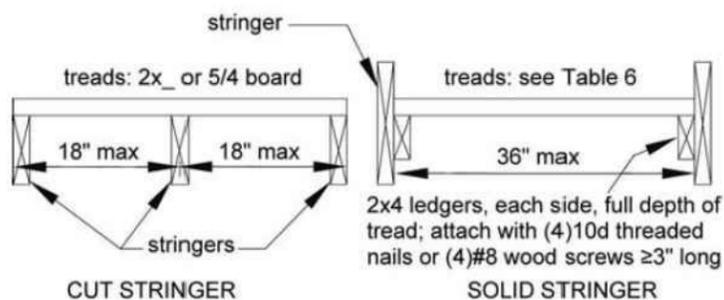


8 BORDER BOARD/DECK BOARD TO DECK FRAMING CONNECTION:
SCALE: 3/4\"/>

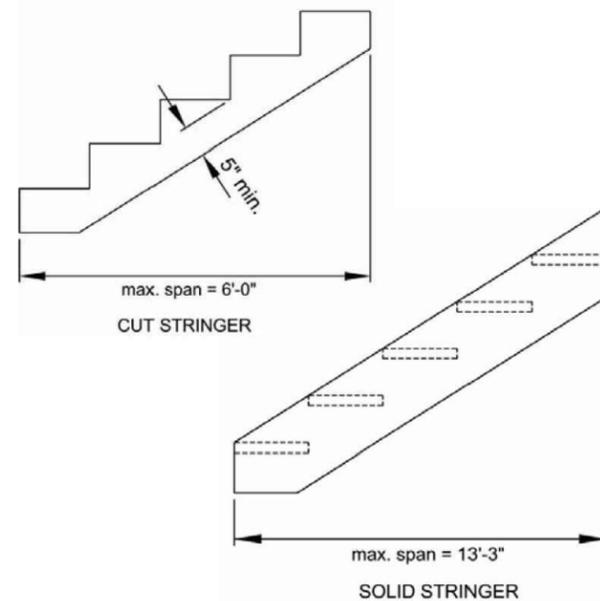


1 STAIR FOOTING DETAIL
SCALE: NTS

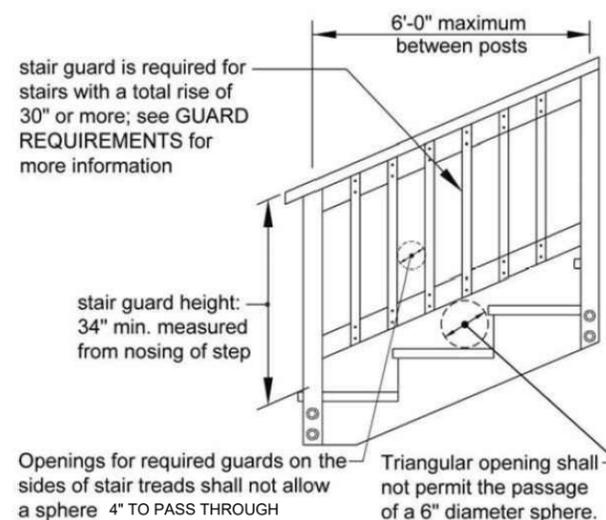
Attachment per tread at each stringer or ledger:
 2x_ or 5/4 treads - (2)8d threaded nails or (2)#8 screws $\geq 2\text{-}1/2"$ long
 3x_ treads - (2)16d threaded nails or (2)#8 screws $\geq 3\text{-}1/2"$ long



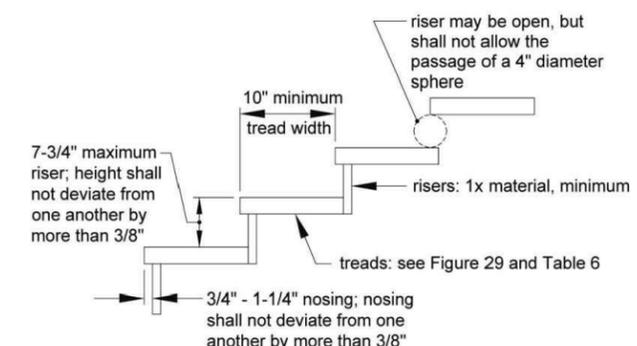
2 TREAD CONNECTION REQUIREMENTS
SCALE: NTS



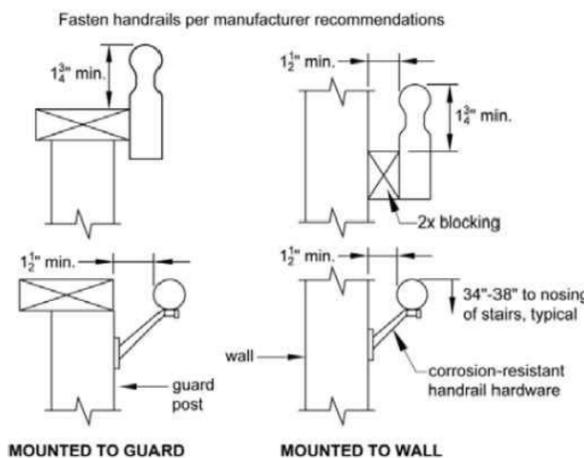
3 TREAD AND RISER DETAIL
SCALE: NTS



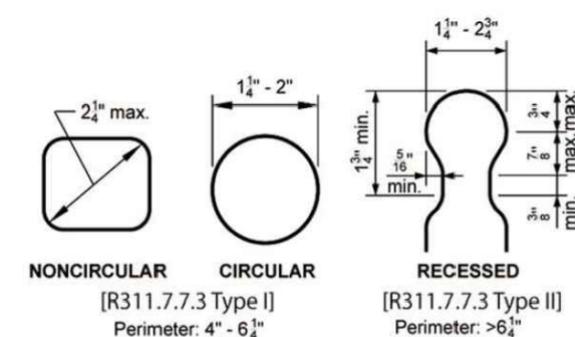
6 STAIR GUARD REQUIREMENTS
SCALE: NTS



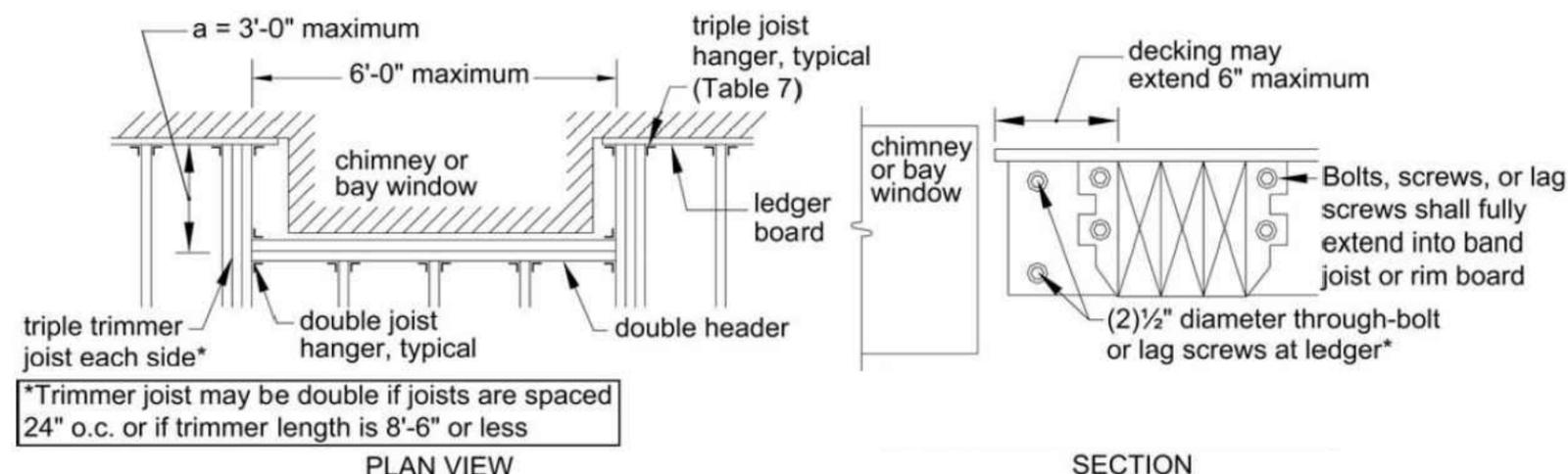
8 TREAD AND RISER DETAIL
SCALE: NTS



4 HANDRAILS MOUNTING DETAILS
SCALE: NTS



7 HANDRAIL GRIP SIZE
SCALE: NTS



*Trimmer joist may be double if joists are spaced 24" o.c. or if trimmer length is 8'-6" or less

5 DETAIL FOR FRAMING AROUND A CHIMNEY OR BAY WINDOW
SCALE: NTS



Table 4. Post Height for 6x6⁵ and Footing Sizes for all Posts.

Beam Span, L _b	Joist Span L _j	Post Heights ¹					Footing Sizes ²		
		Southern Pine	Douglas Fir-Larch ³	Hem-Fir ³ , Western Cedars	Redwood	Ponderosa Pine, Red Pine, SPF ³	Round Footing Diameter	Square Footing	Footing Thickness ⁴
6'	≤10'	14"	14"	14"	14"	14"	18"	16"x16"	7"
	≤14'	14"	14"	14"	14"	14"	21"	18"x18"	8"
	≤18'	14"	14"	12"	14"	11"	24"	21"x21"	10"
8'	≤10'	14"	14"	14"	14"	14"	20"	18"x18"	8"
	≤14'	14"	14"	14"	14"	11"	24"	21"x21"	10"
	≤18'	14"	13"	11"	12"	8"	27"	24"x24"	11"
10'	≤10'	14"	14"	14"	14"	12"	23"	20"x20"	9"
	≤14'	14"	13"	11"	13"	8"	27"	24"x24"	11"
	≤18'	12"	11"	8"	11"	2"	31"	27"x27"	13"
12'	≤10'	14"	14"	12"	14"	10"	25"	22"x22"	10"
	≤14'	13"	12"	9"	11"	5"	30"	26"x26"	13"
	≤18'	11"	9"	6"	9"	2"	34"	30"x30"	15"
14'	≤10'	14"	13"	11"	13"	8"	27"	24"x24"	11"
	≤14'	11"	10"	7"	10"	2"	32"	29"x29"	14"
	≤18'	9"	8"	2"	8"	NP	37"	33"x33"	16"
16'	≤10'	13"	12"	10"	12"	6"	29"	26"x26"	12"
	≤14'	10"	9"	5"	9"	2"	35"	31"x31"	15"
	≤18'	7"	5"	2"	7"	NP	40"	35"x35"	18"
18'	≤10'	12"	11"	8"	11"	2"	31"	27"x27"	13"
	≤14'	9"	8"	2"	8"	NP	37"	33"x33"	16"
	≤18'	5"	2"	2"	6"	NP	42"	37"x37"	19"

1. Assumes 40 psf live load, 10 psf dead load, L_b/4 and L_j/4 overhangs. No 2. grade and wet service conditions.
 2. Assumes 1,500 psf soil bearing capacity and 150 pcf concrete. Value may be multiplied by 0.9 for corner posts.
 3. Incising assumed for Douglas Fir-Larch, Hem-Fir, and Spruce-Pine-Fir.
 4. Assumes 2,500 psi compressive strength of concrete. Coordinate footing thickness with post base and anchor requirements.
 5. 8x8 nominal posts may be substituted anywhere in Table 4 to a maximum height of 14'.

Table 6. Minimum Tread Size for Cut and Solid Stringers.¹

Species	Cut Stringer	Solid Stringer
Southern Pine	2x4 or 5/4	2x8
Douglas Fir Larch, Hem-Fir, SPF ²	2x4 or 5/4	2x8 or 3x4
Redwood, Western Cedars, Ponderosa Pine, ³ Red Pine ³	2x4 or 5/4	2x10 or 3x4

1. Assumes 300 lb concentrated load, L/288 deflection limit, No. 2 stress grade, and wet service conditions.
 2. Incising assumed for Douglas Fir-Larch, Hem-Fir, and Spruce-Pine-Fir.
 3. Design values based on northern species with no incising assumed.

3 MINIMUM TREAD SIZE FOR CUT AND SOLID STRINGERS
SCALE: NTS

Table 7. Trimmer Joist Hanger Vertical Capacity.

Joist Size	Minimum Capacity, lbs
2x6	870
2x8	1155
2x10	1420
2x12	1575

4 TRIMMER JOIST HANGER VERTICAL CAPACITY
SCALE: NTS

TABLE R507.2.1 PLACEMENT OF LAG SCREWS AND BOLTS IN DECK LEDGERS AND BAND JOISTS

	MINIMUM END AND EDGE DISTANCES AND SPACING BETWEEN ROWS			
	TOP EDGE	BOTTOM EDGE	ENDS	ROW SPACING
Ledger ^a	2 inches ^d	3/4 inch	2 inches ^b	1 5/8 inches ^b
Band Joist ^c	3/4 inch	2 inches	2 inches ^b	1 5/8 inches ^b

For SI: 1 inch = 25.4 mm.
 a. Lag screws or bolts shall be staggered from the top to the bottom along the horizontal run of the deck ledger in accordance with Figure R507.2.1(1).
 b. Maximum 5 inches.
 c. For engineered rim joists, the manufacturer's recommendations shall govern.
 d. The minimum distance from bottom row of lag screws or bolts to the top edge of the ledger shall be in accordance with Figure R507.2.1(1).

5 PLACEMENT OF LAG SCREWS AND BOLTS IN DECK LEDGERS AND BAND JOISTS:
SCALE: NTS

1 PRESCRIBED POST HEIGHTS AND FOOTING SIZES
SCALE: NTS

Table 5. Fastener Spacing for a Southern Pine, Douglas Fir-Larch, or Hem-Fir Deck Ledger or Band or Rim Joist and a 2-inch Nominal Solid-Sawn Spruce-Pine-Fir Band Joist or LVL Rim Joist.^{3,4,5,6,8} (Deck Live Load = 40 psf, Deck Dead Load = 10 psf)

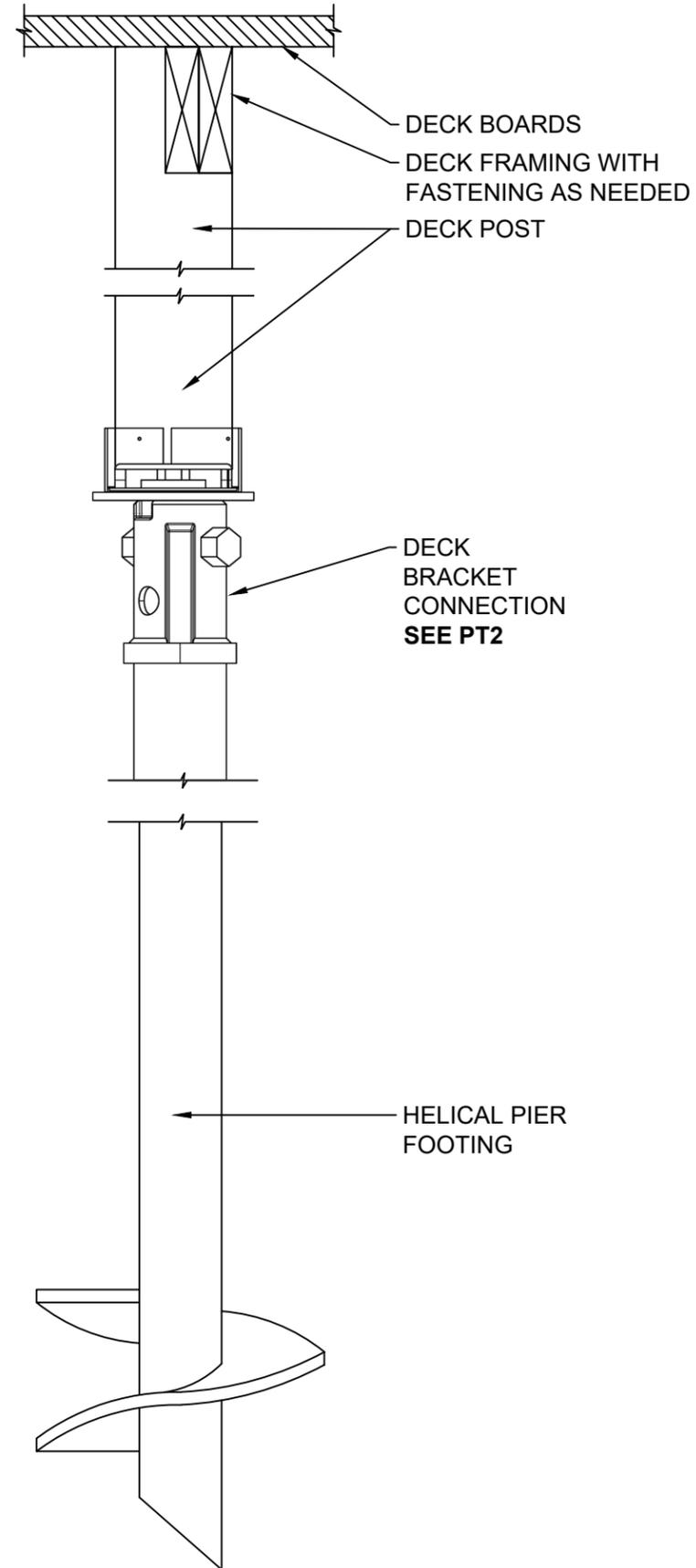
Connection Details	Rim Joist or Band Joist	Joist Span						
		6'-0" and less	6'-1" to 8'-0"	8'-1" to 10'-0"	10'-1" to 12'-0"	12'-1" to 14'-0"	14'-1" to 16'-0"	16'-1" to 18'-0"
On-Center Spacing of Fasteners								
1/2" diameter lag screw ¹ with 15/32" maximum sheathing	1" LVL	24"	18"	14"	12"	10"	9"	8"
	1-1/8" LVL	28"	21"	16"	14"	12"	10"	9"
1/2" diameter bolt with 15/32" maximum sheathing	1-1/2" Lumber	30"	23"	18"	15"	13"	11"	10"
	1" LVL	24"	18"	14"	12"	10"	9"	8"
1/2" diameter bolt with 15/32" maximum sheathing and 1/2" stacked washers ^{2,7}	1-1/8" LVL	28"	21"	16"	14"	12"	10"	9"
	1-1/2" Lumber	36"	36"	34"	29"	24"	21"	19"

1. The tip of the lag screw shall fully extend beyond the inside face of the band or rim joist.
 2. The maximum gap between the face of the ledger board and face of the wall sheathing shall be 1/2".
 3. Ledgers shall be flashed or caulked to prevent water from contacting the house band joist (see Figures 14 and 15).
 4. Lag screws and bolts shall be staggered per Figure 19.
 5. Deck ledgers shall be minimum 2x8 pressure-preservative-treated No. 2 grade lumber, or other approved materials as established by standard engineering practice.
 6. When solid-sawn pressure-preservative-treated deck ledgers are attached to engineered wood products (minimum 1" thick wood structural panel band joist or structural composite lumber including laminated veneer lumber), the ledger attachment shall be designed in accordance with accepted engineering practice. Tabulated values based on 300 lbs and 350 lbs for 1" and 1-1/8" LVL rim joist, respectively.
 7. Wood structural panel sheathing, gypsum board sheathing, or foam sheathing shall be permitted between the band or rim joist and ledger. Stacked washers are permitted in combination with wood structural panel sheathing, but are not permitted in combination with gypsum board or foam sheathing. The maximum distance between the face of the ledger board and the face of the band joist shall be 1".
 8. Fastener spacing also applies to Southern Pine, Douglas Fir-Larch, and Hem-Fir band or rim joists.

American Wood Council

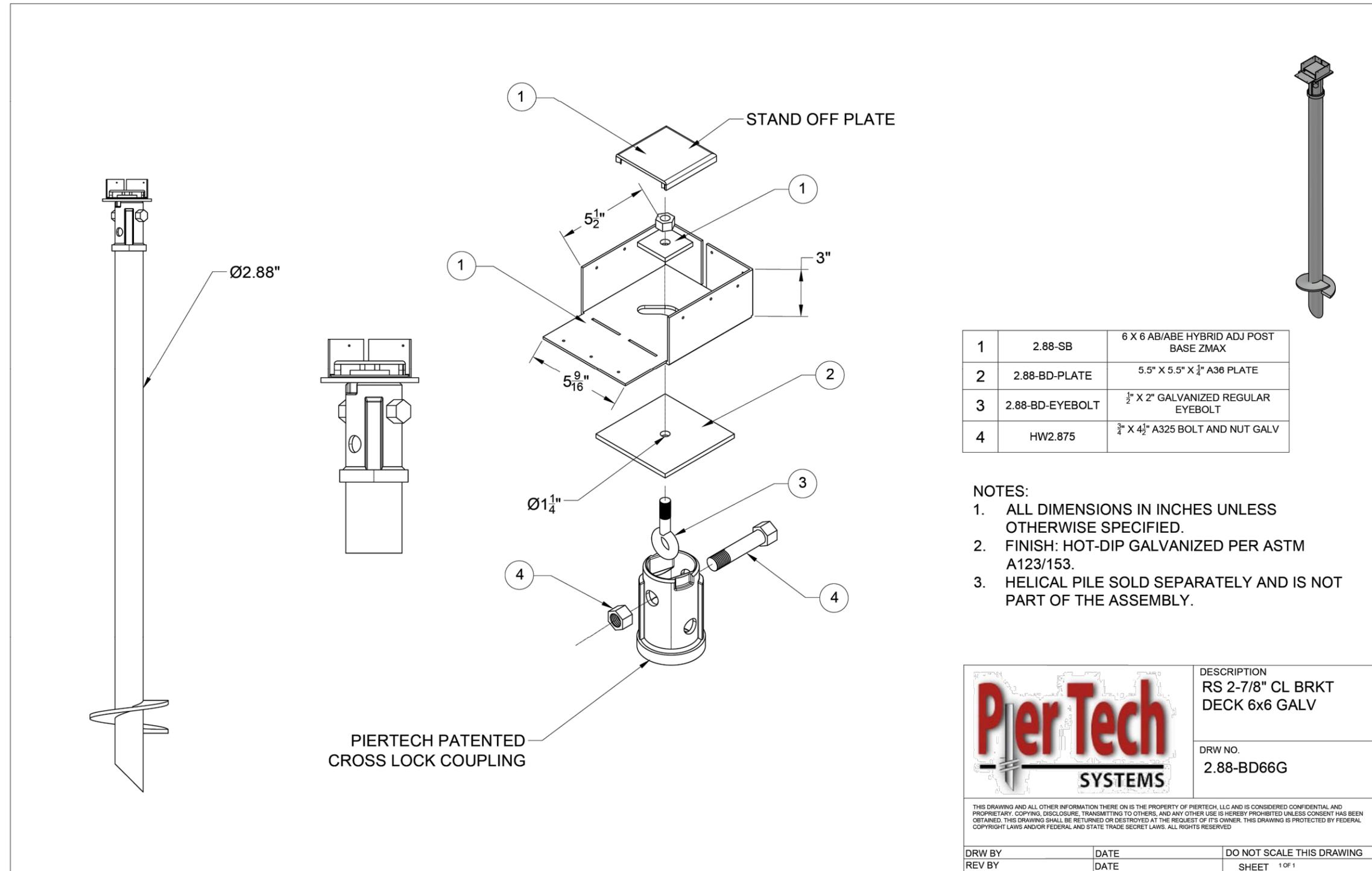
2 PRESCRIBED FASTENER SPACING
SCALE: NTS

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T5



A **PIERTECH HELICAL PIER DETAILS - DECK ONLY:**
SCALE: NTS

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T5



1	2.88-SB	6 X 6 AB/ABE HYBRID ADJ POST BASE ZMAX
2	2.88-BD-PLATE	5.5" X 5.5" X 1/4" A36 PLATE
3	2.88-BD-EYEBOLT	1/2" X 2" GALVANIZED REGULAR EYEBOLT
4	HW2.875	3/4" X 4 1/2" A325 BOLT AND NUT GALV

- NOTES:
1. ALL DIMENSIONS IN INCHES UNLESS OTHERWISE SPECIFIED.
 2. FINISH: HOT-DIP GALVANIZED PER ASTM A123/153.
 3. HELICAL PILE SOLD SEPARATELY AND IS NOT PART OF THE ASSEMBLY.

DESCRIPTION
RS 2-7/8" CL BRKT
DECK 6x6 GALV

DRW NO.
2.88-BD66G

THIS DRAWING AND ALL OTHER INFORMATION THERE ON IS THE PROPERTY OF PIERTech, LLC AND IS CONSIDERED CONFIDENTIAL AND PROPRIETARY. COPYING, DISCLOSURE, TRANSMITTING TO OTHERS, AND ANY OTHER USE IS HEREBY PROHIBITED UNLESS CONSENT HAS BEEN OBTAINED. THIS DRAWING SHALL BE RETURNED OR DESTROYED AT THE REQUEST OF ITS OWNER. THIS DRAWING IS PROTECTED BY FEDERAL COPYRIGHT LAWS AND/OR FEDERAL AND STATE TRADE SECRET LAWS. ALL RIGHTS RESERVED

DRW BY	DATE	DO NOT SCALE THIS DRAWING
REV BY	DATE	SHEET 1 OF 1

A PIERTech HELICAL PIER DETAILS - DECK BRACKET:
SCALE: NTS

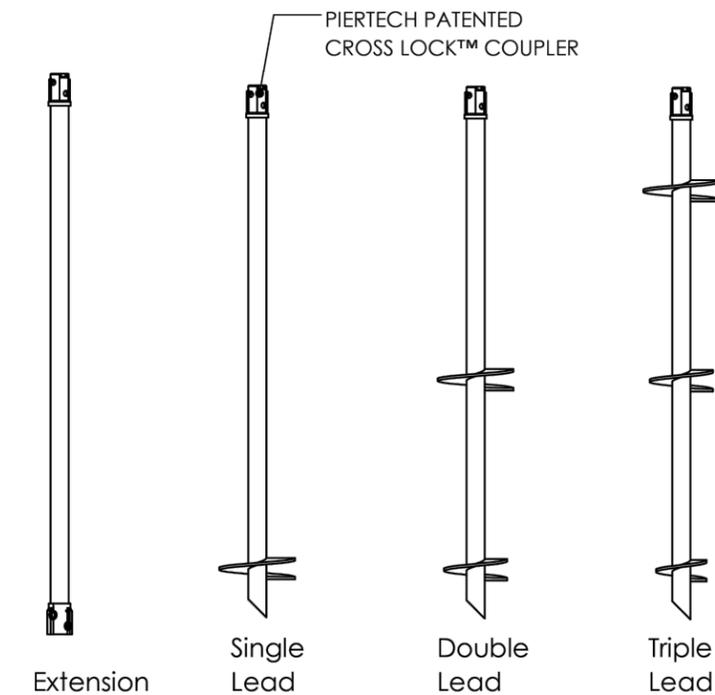
REVISIONS

REV	ECO	DESCRIPTION	BY	DATE	CHECK	DATE

**ROUND SHAFT 2-7/8" X
.203 WALL HELICAL PILES**

Helical Piles offer unique advantages over other deep foundation system, including rapid installation, improved bearing support, and lack of waste (excavated soils). The below Pier Tech Systems® (PTS) products are manufactured to internal quality standards using USA sourced steel, when applicable. Joining of helical pile components is provided by PTS patented Cross Lock™ splined coupler allowing ease of connection between components as well as achieving a rigid joint of higher torsional capacity. The torsional rating of the helical pile is defined in accordance with AISC 360 and/or ICC-AC358 [laboratory testing or computational methods]. Structurally, the helical piles include a reduction in capacity to account for corrosive soil attack inclusive of loss of section (bare steel). Such reduction is based on a design period of 50 years for soils of moderate to high resistivity and acidic to base pH levels. PTS recommends that actual capacity of helical piles be determined through consultation with licensed professional engineer with consultation of geotechnical consultant, whenever possible. Helical piles are available in standard and custom lengths with helix configurations.

Properties and Specifications	
Shaft	RS 2-7/8" x .203W ASTM A500 Grade B/C, Fy=60ksi, Fu=70ksi
Helix*	8", 10", 12", 14" OD .375" Thickness 3" Pitch ASTM A572
Coupler	Patented Cross Lock™ ASTM A915-A915M Fy=116ksi, Fu=123.3ksi
Bolts	(2) 3/4" Grade 5 Min.
Finish	Bare Steel, Galvanized
Torque	
Maximum Torque**	8,290 ft-lbs
Capacity to Torque Ratio	9 (1/ft)
Capacity by Torque	
Ultimate Capacity Based on Torque***	74 kips
Allowable Capacity Based on Torque	37 kips
Structural Capacity	
Allowable Structural Capacity (Comp.)***, *-	48 kips
Allowable Structural Capacity (Ten.)***, *-	44 kips



Note: The above helical pile capacities imply installation into suitable bearing stratum at appropriate depth. Listed axial compressive load based on installation achieving the recommended maximum torque per noted soil factor under simple axial loading. Such capacity excludes necessary reduction due to combined stress from lateral loading or induced moment applied to pile head. PTS recommends consultation with licensed design engineer to establish allowable structural, and geotechnical design capacity of helical piles. As deep foundation system, PTS recommends the upper most helix flight be installed no less than 5 times the helix outside diameter, unless otherwise assessed by licensed design professional.

*Other helix sizes available if requested.
**Maximum torque represents ultimate resistance of helical pile as based on laboratory testing or computational assessment of pile section. PTS recommends that ultimate torque applied during installation of helical piles be limited to no more than 85% of the listed maximum torque.
***Listed capacity of helical piles based on simple axial loading of shaft. Reduce capacity as necessary to comply with maximum combined stress within steel section (per AISC / IBC criteria - reduction to account for lateral shear and/or moment applied to head of helical piles). All listed values apply to Cross Lock™ coupler only.
*-Capacity based on corrosion of "bare" steel section per 50 year design period.



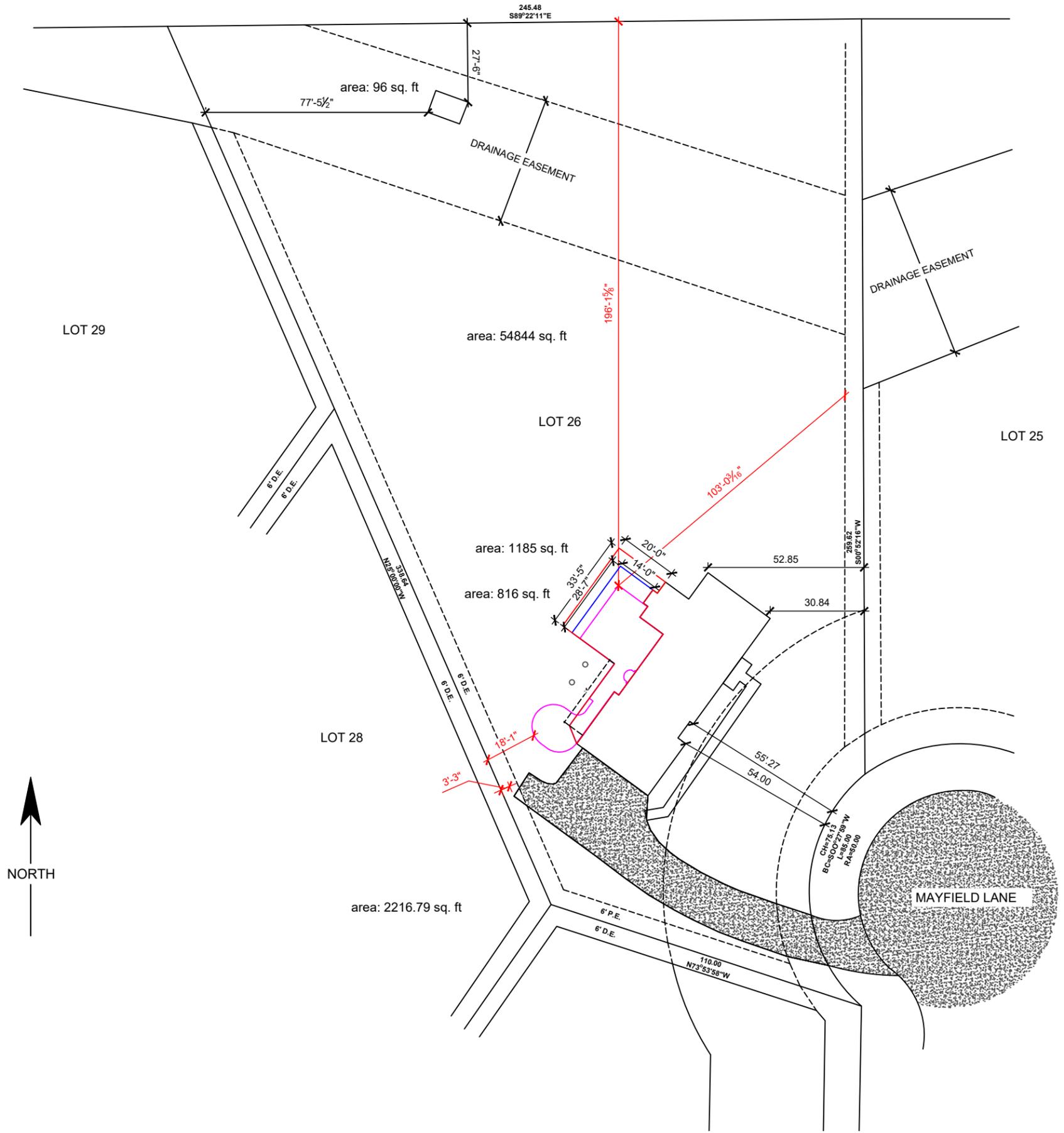
NAME	DATE	DIMENSIONS ARE IN INCHES	
DRAWN KE	5/8/23		
CHECKED MW	5/8/23	PROPRIETARY AND CONFIDENTIAL <small>THIS DRAWING AND ALL OTHER INFORMATION THERE ON IS THE PROPERTY OF PIERTECH, LLC AND IS CONSIDERED CONFIDENTIAL AND PROPRIETARY. COPYING, DISCLOSURE, TRANSMITTING TO OTHERS, AND ANY OTHER USE IS HEREBY PROHIBITED UNLESS CONSENT HAS BEEN OBTAINED. THIS DRAWING SHALL BE RETURNED OR DESTROYED AT THE REQUEST OF ITS OWNER. THIS DRAWING IS PROTECTED BY FEDERAL COPYRIGHT LAWS AND/OR FEDERAL AND STATE TRADE SECRET LAWS. ALL RIGHTS RESERVED.</small>	
MATERIAL	VARIES		
FINISH	BARE/GALV		

**RS 2-7/8" X .203W
CUT SHEET**

SIZE	DWG. NO.	REV.
A	2.87-CUTSHEET	0
WEIGHT: N/A		SHEET 1 OF 1

A PIERTECH HELICAL PIER DETAILS - PIER SPECIFICATIONS:
SCALE: NTS

A SITE PLAN:



SHEET TITLE
SITE PLAN

PROJECT NAME:
Rodrigo Drawings
21980 North Mayfield Lane
Deer Park, IL
60010

Date:
09/23/2025

Sheet:
A0



To: Beth McAndrews, Administrator
From: Kenneth Garrett, Building and Zoning Official
Date: February 17, 2026
RE: Zoning Variance - 21980 Mayfield Lane

The petitioner is requesting a side yard setback zoning variation to install a patio in their rear and side yard. The property is zoned R-1 and requires a 30 foot side yard setback.

1. The current existing site is improved with a single family home and is located on a cul-de-sac. The patio area which is the subject of the requested variance is partially screened from the neighbor.
2. The petitioner is requesting to install a paver patio which winds around the existing septic tank. Currently there is a deck at the proposed patio location. The proposed patio will extend beyond the edge of the home adjacent to the garage and will be partially visible from the driveway. The patio is essentially square in size coming off of the house with a walkway which is adjacent to the septic tank and then creates a circular or oblong shape. The lot is irregularly shaped due to its pie shape configuration. See site plan prepared by Erdman Outdoor Living (Sheet AO).
3. The property has significant grades to the rear yard. Discussion took place regarding extending the square portion of the driveway, but the grade makes that not very conducive to the proposed patio improvement.
4. The existing driveway encroaches slightly into the utility easement, but it does not impact this request.
5. The zoning setback request is to seek relief from the 30 foot required setback to 19 feet.
6. The area is partially screened by landscaping, therefore the patio area is screened from visibility to the closest neighbor. The neighbor has provided a written letter indicating no opposition to the variance.
7. A letter from the Chapel Hills Homeowners Association was received providing support for the improvements.

21980 Mayfield Lane

Recommendation: Based on the conditions of the lot, staff sees no objection to the requested zoning side setback variance.

Should you have any questions regarding this report feel free to contact me at your convenience.

Respectfully Submitted,

Kenneth Garrett
Building and Zoning Official

Village of Deer Park
Building & Zoning Committee
23680 W. Cuba Road
Deer Park, IL 60010

Re: Letter of Support – Patio Plans and Variance Request
Property: 21980 N. Mayfield Lane, Deer Park, IL 60010
Applicants: Vicki & Mike Rodrigo (Permit # R-25-3297)
Building & Zoning Committee Meeting: March 2, 2026

Dear Members of the Building & Zoning Committee:

On behalf of the Chapel Hill Homeowners Association (HOA) Board and the Chapel Hill Architectural Review Board (ARB), we submit this letter in support of the proposed patio project for the property located at 21980 N. Mayfield Lane, Deer Park, Illinois.

The ARB has reviewed the patio plans provided by the homeowners. The proposed design complements the existing residence and generally follows the home’s footprint, including a circular patio element located behind the garage. The homeowners are requesting a variance from the Village’s side-yard setback ordinance, which requires a 30-foot setback for patios and decks. The proposed circular portion of the patio is shown at just over 19 feet from the side property line, while the primary structure of the home complies with the required 30-foot setback.

Based on the information provided, the HOA Board and ARB acknowledge that this property presents unique site constraints. These include the lot configuration, adjacency conditions—specifically, that the side property line aligns with a neighboring rear yard rather than a typical side-yard-to-side-yard condition—topography and slope considerations, and limitations created by existing site features such as the septic system location. We also understand that the adjacent neighbors have submitted a letter of support for the request.

From the standpoint of Chapel Hill HOA and ARB guidelines and community standards, the proposed patio improvement is consistent with the neighborhood’s architectural character and site expectations. Accordingly, the HOA Board and ARB have no objection to the project as submitted and support the homeowners’ request for the variance.

This letter serves as acknowledgment that the proposed project aligns with Chapel Hill HOA and ARB requirements and is expressly contingent upon the homeowners obtaining all required Village approvals, permits, and inspections, and constructing the project in accordance with the final plans approved by the Village of Deer Park.

Please feel free to contact us should you have any questions or require additional documentation.

Sincerely,

Michael Cukierski
President
Chapel Hill Homeowners Association

Curt Schumacher
Member
Chapel Hill Architectural Review Board

Laurie Tucker
Member
Chapel Hill Architectural Review Board

Mark Freemott
Member
Chapel Hill Architectural Review Board

To the Members of the Village Board and Zoning Committee,

We are writing this letter as the residents of 23844 Lancaster Court, located immediately adjacent to the property of our neighbors the Rodrigo's at 21980 Mayfield Lane who are currently seeking special approval for the construction of a new patio.

As the neighbors most directly impacted by this proposed development, we have had the opportunity to review the plans and discuss the location with our neighbors. Our understanding is that the planned patio will be 19' 3-11/16" from our lot line at the closest point. With this, it is also our understanding that the ordinance calls for a 30' setback from the lot line and the Rodrigo's are requesting a variance for this. We are writing to formally state that we do not have any objections and are in full support of allowing this variance.

We believe the addition will be an aesthetic improvement to the property and will not negatively impact our privacy, our property value, or our enjoyment of our own home.

We appreciate the Village's diligence in reviewing these requests and wanted to ensure our support was part of the official record. If the Village has any further questions for us regarding this matter, please feel free to reach out.

Sincerely,

Todd Miller & Elizabeth Miller

Re: Permit # R-25-3297

2025 DEC 19 10:15:15

VILLAGE OF DEER PARK
APPLICATION FOR ALL SPECIAL USE PERMIT(S)
(INCLUDING PLANNED DEVELOPMENTS)

PLEASE PROVIDE THE FOLLOWING INFORMATION:

1. **COMMON ADDRESS OF SUBJECT PROPERTY:** Common address of the property which is the subject of this application ("the subject property"):

20370 N Rand Rd Suite 106 Deer Park, IL 60047

2. **NAME AND ADDRESS OF PETITIONER(S):** Please provide the name of the applicant(s) (also hereinafter referred to as "the Petitioner(s)") and state the interest of the applicant in the aforesaid property. Also, please state when this interest was acquired.

Name(s): Chaitanya Gor
 Address: 171 Pleasant Dr Bartlett, IL 60103
 Phone(s): (847)293-0550
 Email: Emaulgor@aol.com
 Interest in Property: Owner Date Interest Acquired: 04/30/2025

CONTACTS

	NAME	PHONE NO.	EMAIL ADDRESS
ATTORNEY:			
CIVIL ENGINEER:			
ENVIRONMENTAL CONSULTANT:			
SEPTIC ENGINEER:			
LANDSCAPING/TREE EXPERT:			

3. **STATEMENT OF OWNERSHIP:** Please provide the legal name(s) of the owner(s) and state how long they have owned the subject property:

Name(s): Chaitanya Gor	Name(s): Sukhadia Ajay	Name(s):
Address: 171 Pleasant Dr Bartlett, IL 60103	Address: 7721 Seeples Chase Dr. Frankfort IL 60423	Address:
Phone(s): (847)293-0550	Phone(s):	Phone(s):
Fax:	Fax:	Fax:
Email: Emailgor@aol.com	Email: saif.mukadam@mkdmente	Email:
Date Interest Acquired: 04/30/2025	Date Interest Acquired: 04/30/2025	Date Interest Acquired:

4. **LEGAL DESCRIPTION:** State the legal description and P.I.N. number of the subject property:

Permanent Index Number: 14-34-400-015

PT SE;COM AT X OF CEN RAND RD&N LN,SE ALG CEN LN 1115.38 T O POB, CONT SE ALG CEN LN 150,SW738.09 TO W LN E1/2 TH IS 13 27.92N IF S LN, N269.04,NE514.73 TO POB SECTION 34 TOWNSHIP

2025 DEC 19 10:15:15

5. **EVIDENCE OF OWNERSHIP:** Attach a copy of your deed, title policy, or a copy of your contract to purchase for the subject property.

6. **INTENDED USE(s):** A special use is requested pursuant to Deer Park Zoning Ordinance, Section(s) 158.30 to permit the following intended use to be made of the subject property:

Virtual Car Dealership

7. **REASONS FOR REQUEST(s):** State in detail the reasons for the request:

Unit is zoned under PD, would like a special use permit to give the opportunity to grow a strong virtual dealership that will cater to the surrounding area.

8. **STANDARDS FOR APPROVAL OF A SPECIAL USE:** The Petitioner(s) must answer the following questions in detail and provide evidence as to why the standards for the requested Special Use have been met:

A. Will the requested special use have an adverse effect on nearby properties?

The request for a special use permit for car dealership will not cause any adverse effect on nearby properties. The proposed usage is compatible with surrounding business and will allow more tax paying dollars to be spent within the village.

B. Will the requested special use have an adverse effect upon the character and future development in the Zoning District in which the requested Special Use would be located?

The proposed use is fully consistent with the intent and character of the district, which is designed to accommodate compatible commercial and personal service uses that serve the surrounding community.

C. Will the requested special use be beneficial to the public convenience at the proposed location?

A virtual car dealership will be beneficial to the public convenience at the proposed location. With the car lot being located behind the building it will not come as a "distraction" to the main road, but will give a privacy outlook to car dealerships.

D. Will the requested special use be designed, located and proposed so as to be operated in such a manner that the public health, safety, morals and welfare and interest will be protected?

The requested special use for virtual car dealership business will be designed, located and operated in such a manner that protects the public health, safety, morals, welfare and general interests of the community.

E. Will the requested special use cause substantial injury to the value of other property or properties in the neighborhood in which it is located?

The business intended will only enhance the property and surrounding properties in question. By it being a virtual car lot, most business is done online. The cars that are on site are there to be stored until they are bought. Which decreases the liability of test drives in the community.

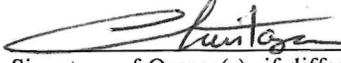
F. Will the requested special use conform to the applicable Zoning Regulations of the Zoning District in which it is located? If not, state any exception(s), variation(s) or waiver(s) being proposed as part of the requested special use.

Yes, the proposed use is specifically identified as a permitted special use within this zoning district and will meet/exceed all requirements regarding building design, occupancy, signage, parking and operational standards.

- 9. **PLANNED DEVELOPMENT(S):** The Petitioner(s) must describe in detail how the proposed Planned Development will meet the minimum standards for Planned Developments (PD) as set forth in Chapter 153, "Planned Developments", of the Deer Park Municipal Code and submit all appropriate and required supporting plans, studies, and information to support such request at each step in the PD review process. Attach eighteen (18) copies of the detailed description of the proposed Planned Development and all related submittals.
- 10. **SUBMITTALS:** Attach eighteen (18) copies of the plat of survey and eighteen (18) copies of the site plan, building plan, façade elevations, landscaping plans, traffic studies, and all other plans and studies related to the proposed use(s) of the subject property and any proposed structures and improvements. Provide any additional materials that would assist the Village in reviewing this application: i.e. letters, photos, etc
- 11. **REQUIRED NOTICE(S):**
The Petitioner(s) are advised that, Section 158.54(D) of the Deer Park Zoning Code provides as follows:
“(1) Notice: Not less than 15 days nor more than 30 days prior to the Commission hearing on an application for an amendment of this Chapter, a special use permit or tentative approval of a plat of subdivision; or not less than 15 days nor more than 30 days prior to a hearing on an application for a zoning variation, the applicant: (i) shall give notice by certified mail to the owners of record of all parcels of land within 500 feet of the perimeter of the property being considered; and (ii) shall publish notice in a newspaper published in the Village, in a format prescribed by the Village Administrator, stating:
 - (1) The nature of the application;
 - (a) The general location of the subject property by address or other identifiable geo-graphic characteristics;
 - (b) The time and place of the public hearing;
 - (c) That the application is on file and may be examined in the office of the Village Administrator during regular business hours;
 - (d) That the application on file may be examined in the Village Office; and
 - (e) Shall post notice of the public hearing relative to the subject property on the subject property in a format prescribed by the Village Administrator.
 - (2) At the hearing the applicant shall deliver to the Village Clerk a publisher’s certificate of publication of the required notice, and evidence of mailing of notice as required herein above. In the event no publisher’s certificate or evidence of mailing is received by the Village Clerk, at the hearing on that mailer, the hearing shall not be held.
 - (3) If the public hearing on any matter is continued it shall be the responsibility of the applicant to publish notice of the reconvened hearing as in the case of the original notice, unless the date of the continued hearing was announced publicly in the course of the preceding hearing on the matter
 - (4) The Village Clerk shall post the agenda of each meeting or public hearing by the Commission as required by the Illinois. Open Meetings Act
- 12. **FEES AND DEPOSITS:** All required fees and deposits must accompany this Application. See Chapter 38.04(C)



Signature of Petitioner(s)



Signature of Owner(s), if different than Petitioner(s)

Subscribed and sworn to before me
this 16th day of December, 2025.

Subscribed and sworn to before me
this 16th day of December, 2025.


Notary Public
OFFICIAL SEAL
WENDY SANCHEZ
NOTARY PUBLIC, STATE OF ILLINOIS
My Commission Expires 3/24/27


Notary Public
OFFICIAL SEAL
WENDY SANCHEZ
NOTARY PUBLIC, STATE OF ILLINOIS
My Commission Expires 3/24/27

Submission Checklist

The following plans below must be submitted for Village Review no less than 45 Calendar Days prior to the Planning and Zoning Commission meeting(s). Petitioners are encouraged to contact the Building and Zoning Department to discuss their petition, required plans, pre-submittal options, preliminary vs. final requirements, timing considerations, and potential meeting details.

DIGITAL SUBMITTAL & 10 PRINT SETS REQUIRED 45 DAYS PRIOR TO PLAN COMMISSION MEETING:

Digital Submittal: Email Digital Submittal or download link to Josie Doniec at jdoniec@vodp.net

Questions:
Contact Director of Building and Zoning, Josie Doniec, 847-726-1648 x104

Print Submittals: Mail 10 Print Sets, Minimum Drawing Size 24 Inches x 36 Inches, to

Deer Park Village Office
Attn: Josie Doniec
23680 W. Cuba Road
Deer Park, Illinois, 60010

- Application and Written Statement by developer which describes the proposed development, shows how proposed plan meets objectives of comprehensive plan, shows compatibility with surrounding land uses, benefits to public health, safety, welfare, and Village - economically and otherwise.
- Proposed Variations - List of variations, if any, i.e. exceptions to municipal code requiring relief
- Proof of Ownership or Site Control - Such as deed, purchase contract or authorization letter with the ownership matching either the county tax records or a title commitment
- Survey with Legal Description of the Property - Boundary survey of the site
- Site Plan *Preliminary and/or Final* - Indicate location of building(s) on property, signs, trash enclosure, bike path, sidewalks, parking spaces, access points, connectivity to neighboring properties, and call-out with pertinent site data to evaluate zoning standards (i.e. coverage, setbacks, floor area ratio, etc.)
- Engineering Plans *Preliminary and/or Final* - All drawings must be to scale and include dimensions with sufficient detail to evaluate the topography, grading, sewer, water, sanitary, drainage, etc.
- Landscape Plan *Preliminary and/or Final* - Including plant details, types, quantities, locations, installation, care & maintenance details, note landscaping for ground signs, and provide supporting details and cut-sheets for any fencing, planters, hardscape and other related amenities
- Architectural Plans *Preliminary and/or Final* - Including elevations (with height shown), color renderings, material and dimensional call-outs, roof plans for non-residential structures and typical floor plans
- Signage Plan, *Preliminary and/or Final* - Including locations, elevations (with dimensions shown), color renderings, material and dimensional call-outs
- Photometric (Lighting) Plans *Preliminary and/or Final* - Including calculations of required lighting per the village code and the State of Illinois Energy Code and calculations of what is being provided
- Development Schedule - Including proposed start dates, completion dates and phasing
- Traffic Impact Study - Provide engineers report of traffic study
- Protective Covenants - Proposed documents, outline or narrative with salient points of covenants
- Plat of Consolidation, *Preliminary and/or Final* - If simultaneous approval for consolidation is requested
- Plat of Subdivision, *Preliminary and/or Final* - If simultaneous approval for subdivision is requested
- Tree Survey - Include graphic showing location and list/description of trees; See Chapter 95 of Code
- Other Submittals which may be required by Planning and Zoning Commission including:
 - Proposed Water Allocation
 - Proposed Sanitary Sewer Connection Stormwater Maintenance
 - Tax Impact Study
 - School Demographic Study
 - Other information requested by the Planning and Zoning Commission or Village Staff

*Please note this checklist is a summary of items outlined in the Village Code and in all cases the Village Code controls.



Village of Deer Park DEER PARK Development Application

Office Use Only
Date Received _____
Escrow No _____

Completion of this petition satisfies the requirement of filing a petition in matters before the Planning and Zoning Commission. Please type or print legibly and include original signatures. A petition cannot be processed until it is complete, and all fees have been paid.

PETITION TYPE - Select all that apply

<input type="checkbox"/> Annexation	<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Plat of Subdivision
<input type="checkbox"/> Amendment to Zoning	<input type="checkbox"/> Preliminary	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Re-Zoning	<input type="checkbox"/> Final	<input type="checkbox"/> Final
<input checked="" type="checkbox"/> Special Use Permit	<input type="checkbox"/> Major Amendment/P&Z*	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Amendment to Special Use	<input type="checkbox"/> Minor Amendment/BRB*	

PROJECT INFORMATION

Project Title: Special Use petition for 20370 N Rand Rd Suite 106

Project Description: No construction will be done to the unit proposed. All changes will be cosmetic such as painting and potentially changing the flooring. No structural changes needed.

PUD/Master Plan/Subdivision: 20370 N Rand Rd 60010 Suite 106 Deer Park, IL
Use street address. Use the closest intersection if no address. Attach Legal Description

Project Location: Suite 106

PIN(s): 14-34-400-015

Current Zoning: PD Proposed Zoning: Permitted Special Use

Current Use: Vacant Proposed Use: Virtual Car Dealership

Gross Site Area (Acres): 2.18 Net Site Area (Acres): 1.98

Number of Lots Proposed: 0 Number of Dwelling Units Proposed: 1

Approximate Cost of Construction: \$ 0

**Contact Village Building and Zoning Department before you submit your petition to determine if your project constitutes a major amendment to a Planned Unit Development, will go before the Planning and Zoning Commission (P&Z) and a minor amendment to a Planned Unit Development will go before the Building Review Board (BRB).*

PETITIONER CONTACT INFORMATION

(check one) Owner Owner's Agent Design Professional Developer Other _____

Name Chaitanya Gor Company Deer Park Plaza LLC

Mailing Address 20370 N Rand Rd

City Deer Park State IL Zip 60010

Telephone# (847)293-0550 E-Mail emailgor@aol.com

OWNER CONTACT INFORMATION

Owner (required if not Petitioner)

Name: _____

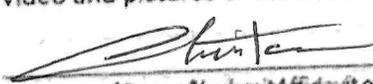
Mailing Address: _____

City: _____ State: _____ Zip: _____

Telephone# _____ E-Mail: _____

SIGNATURES

As owner of the property, I hereby authorize the seeking of the above requested action. The Owner agrees to and does hereby grant the Village permission to go upon or over any part of the Property for the purpose of taking video and pictures of the site and construction activities.

 Date 12/19/25
Signature of Owner* (submit Affidavit of Ownership)

Chetan Gor
Print Name of Owner

Signature of Petitioner (if different from the owner) Date

Print Name of Petitioner

**If the subject property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter, which names all beneficiaries of the trust.*

Affidavit of Ownership

COUNTY OF _____)

STATE OF ILLINOIS)

I, Chaitanya Gor, under oath, state that I am

<input type="checkbox"/>
<input checked="" type="checkbox"/>
<input type="checkbox"/>

the sole owner of the property

an owner of the property

an authorized officer for the owner of the property

commonly described as 20370 N Rand Rd Deer Park IL 60010

14-34-400-15

(Property address and PIN(S))

and that such property is owned by Chaitanya Gor as of this date.
(Print name)

[Signature]
(Signature)

Subscribed and sworn to before

me this 19th day of

December, 2025

[Signature]
Notary Public



1. Executive Summary

- Business Name: Zoomo Motors
 - Location: 20370 Rand Road, Unit 101, Kildeer, IL
 - Business Concept: Provide a seamless and hassle free used car dealership for consumers. No fees, and be transparent without the door pricing. Advertise through online Facebook, autotrader, etc. Will only conduct appointment based sales with no foot traffic.
 - Goals for the Next 12 Months: Grow our business and rotate in cars from auction as we sell cars. Be profitable and provide value to consumers with well priced used cars.
-

2. Business Description

- Industry: Online Car Sales
 - Product / Service: Provide appointment based car sales with haggle free pricing. Advertise through online car platforms such as Facebook, autotrader, etc.
 - Unique Value / What Makes You Different: We have zero fees, and provide out the door pricing on cars right off the bat(Registration and taxes excluded). Since we are appointment only car sales, it gives us and the customer a common goal in what we are selling and what the customer is looking to purchase. Makes us more efficient and helps us give our undivided attention to the customer.
-

3. Target Market

- Ideal Customer: All consumers looking for well priced used cars.
- Customer Needs & Buying Behavior: We have seen consumers from college students to retired seniors that just want a nice used car.

4. Products or Services

- Main Products/Services: Used Cars
 - Pricing: \$5,000-\$15,000
-

5. Marketing & Sales Plan

- We will be targeting customer through online advertising through Facebook, autotrader, and other car platforms.
 - Initial Conversations will be through email or phone, and after finalizing the price we will schedule an appointment at our office for finalizing sale and viewing car.
-

6. Operations Plan

- Daily Operations: We will advertise our cars online by taking detailed pictures, providing all specifications, and car fax. Continuously respond to inquiries and schedule in person showing and final sale appointments.
 - Hours: 9 a.m. to 5 p.m. daily.
-

7. Management & Team

- Owner(s) : Sardar Khan, Faraz Khan, Munaaj Bozai
 - Key Responsibilities: In charge of advertising, sales and all upkeep of cars and office space.
-

8. Financial Plans

- Monthly Expenses: \$2,200 rent, \$300 dollars utilizes.
 - Revenue Streams: Used Car sales
 - 12-Month Sales Forecast: \$100,000
-

Josie Doniec

From: Ken Garrett <KGarrett@bfccs.org>
Sent: Friday, December 19, 2025 7:58 AM
To: Joel Harris III
Cc: Beth McAndrews; emailgor@aol.com; John Higgins; Saif Mukadam; Josie Doniec; Frank Greenwich
Subject: Re: 20370 N Rand Road Suite 101-Deer Park Plaza

Hi Joel,

Thanks for the heads up. The process is the same for either location. Provide the floor plan for the new space and identify the rooms. Submit the application, documents and appropriate fees to the village when you're ready.

Kenneth Garrett
Building and Zoning Official
B & F Construction Code Services, Inc
[2420 Vantage Drive](#)
[Elgin, IL 60124](#)
[847-428-7010 Main](#)
[847-428-3151 FAX](#)
kgarrett@bfccs.org

Sent from my iPhone

On Dec 18, 2025, at 12:32 PM, Joel Harris III <joelharris@cbcregroup.com> wrote:

Ken,

I wanted to reach out because we have had a new development at the property. The proposed tenants that wanted unit 106 for massage therapy will no longer be leasing the space due to their own personal reasons. We are proposing to give the virtual car dealership unit 106 instead as is to alleviate construction and build out of the space. I just wanted to run it by you to see if this makes it easier for the special use proceedings that we are to embark on. We are still gathering all paperwork to file to the village, I just wanted to make you aware & see if that changes anything.

On Tue, Dec 16, 2025 at 1:08 PM Ken Garrett <KGarrett@bfccs.org> wrote:

Hi Joel,

The attached fees for the Special Use Permit is located in the attached village ordinance.

What types of vehicles are being sold? **The lot can/will include anything from 2 door coupes to 4x4 trucks. They will have a mixed variety of inventory throughout the year.**

I hope this gives more insight, I look forward to hearing the next steps of this process.

On Mon, Dec 15, 2025 at 3:34 PM Ken Garrett <KGarrett@bfccs.org> wrote:

Hi Joel,

Thanks for the information. We are going to need additional information. Automobile sales and service require a special use. In your information, you indicated 10 parking spots for storage. Are you referring to vehicles? Explain in detail what this means. We need to make sure there is enough parking for the existing tenants as well. Are they licensed by State of Illinois for selling vehicles? What types of vehicles are being sold?

Please provide specific information.

Thanks,

Kenneth Garrett

Building and Zoning Official

B & F Construction Code Services, Inc

[2420 Vantage Drive](#)

[Elgin, IL 60124](#)

[847-452-0702](#) Mobile

[847-428-7010](#) Main

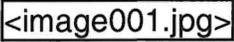
[847-428-3151](#) FAX

kgarrett@bfccs.org

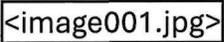
Sent from my iPhone

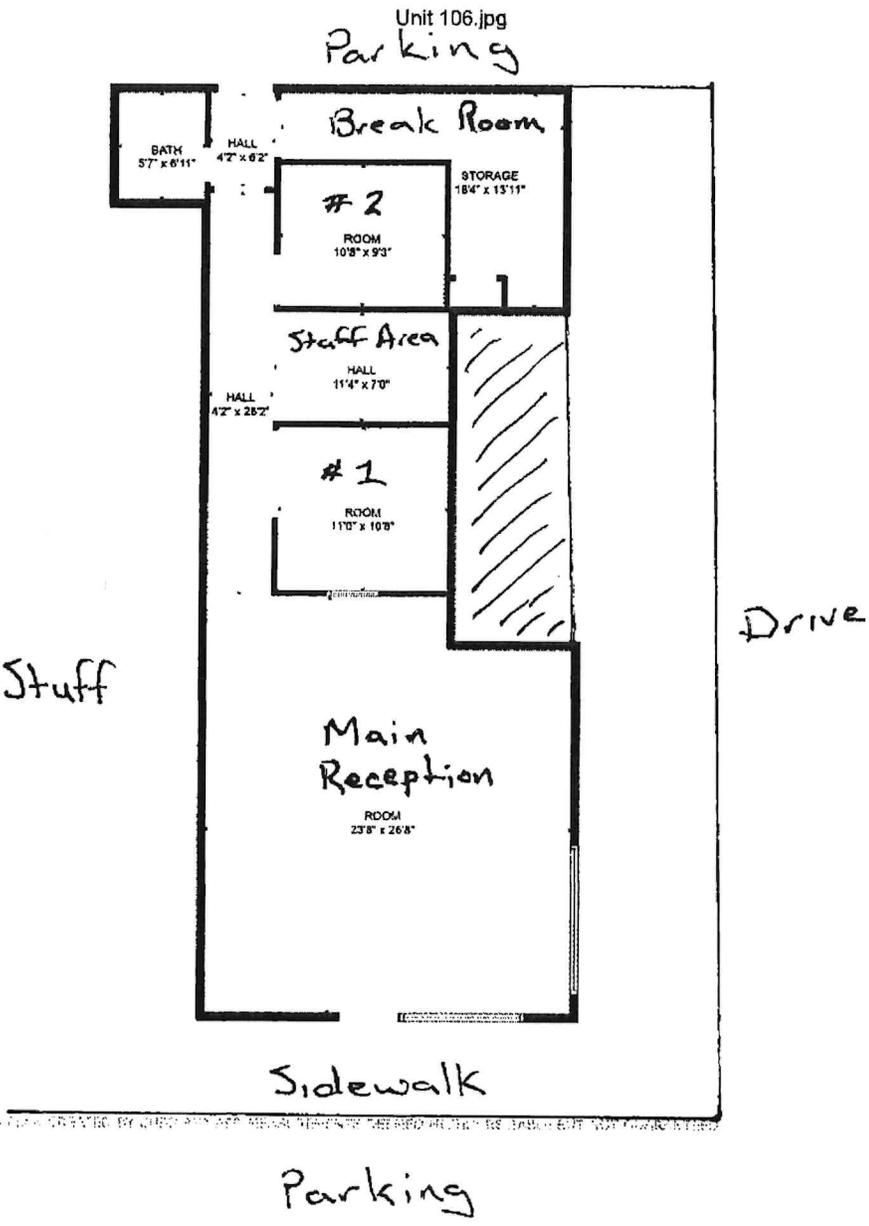
occupy the space. An LOI has already been agreed upon between the tenant & landlord detailing occupancy. Let me know what the next steps will be or if there is any more information I can provide at this time.

--

	Joel Harris III
	Commercial Broker Coldwell Banker Commercial Real Estate Group
	m: (602)330-9459
	JoelHarris@cbcregroup.com
	CBCWorldwide.com
	38 W. Countryside Parkway, Suite B, Yorkville, IL 60560
	
	
	
	
	

--

	Joel Harris III
	Commercial Broker Coldwell Banker Commercial Real Estate Group
	m: (602)330-9459
	JoelHarris@cbcregroup.com
	CBCWorldwide.com
	38 W. Countryside Parkway, Suite B, Yorkville, IL 60560

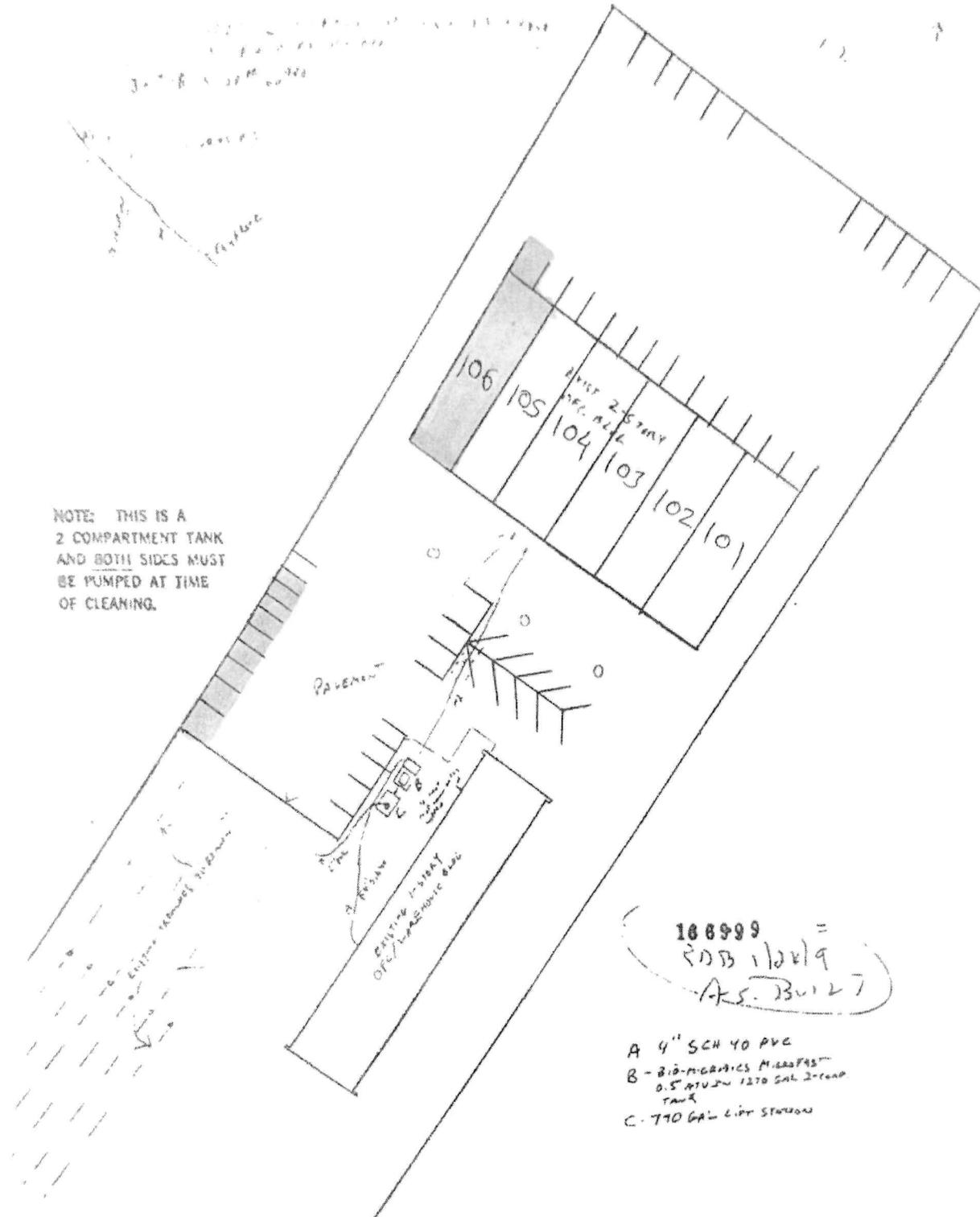


Rand Rd

The site will implement a well-organized, directional traffic pattern designed for smooth circulation. Vehicles enter and move eastbound along the south side of the building, leading directly to the rear parking lot. From there, traffic continues westbound along the north side of the building, creating a continuous, efficient one-way loop. The plan is to implement directional signage to establish the flow of traffic stated above.

The agreement between landlord & tenant is that the virtual dealership will be allotted 10 parking spaces which will be used for storage and/or employee parking. Those 10 cars will be established on the farthest east portion of the parking lot leaving 13 parking spots to be used by customers & employees. This site will be used as an office to conduct transactions, all business will be conducted by appointment only. The staff on hand will be the 2 owners of the company that will service 1-2 customers at a time. The business will operate from 9AM-6PM

NOTE: THIS IS A
2 COMPARTMENT TANK
AND BOTH SIDES MUST
BE PUMPED AT TIME
OF CLEANING.



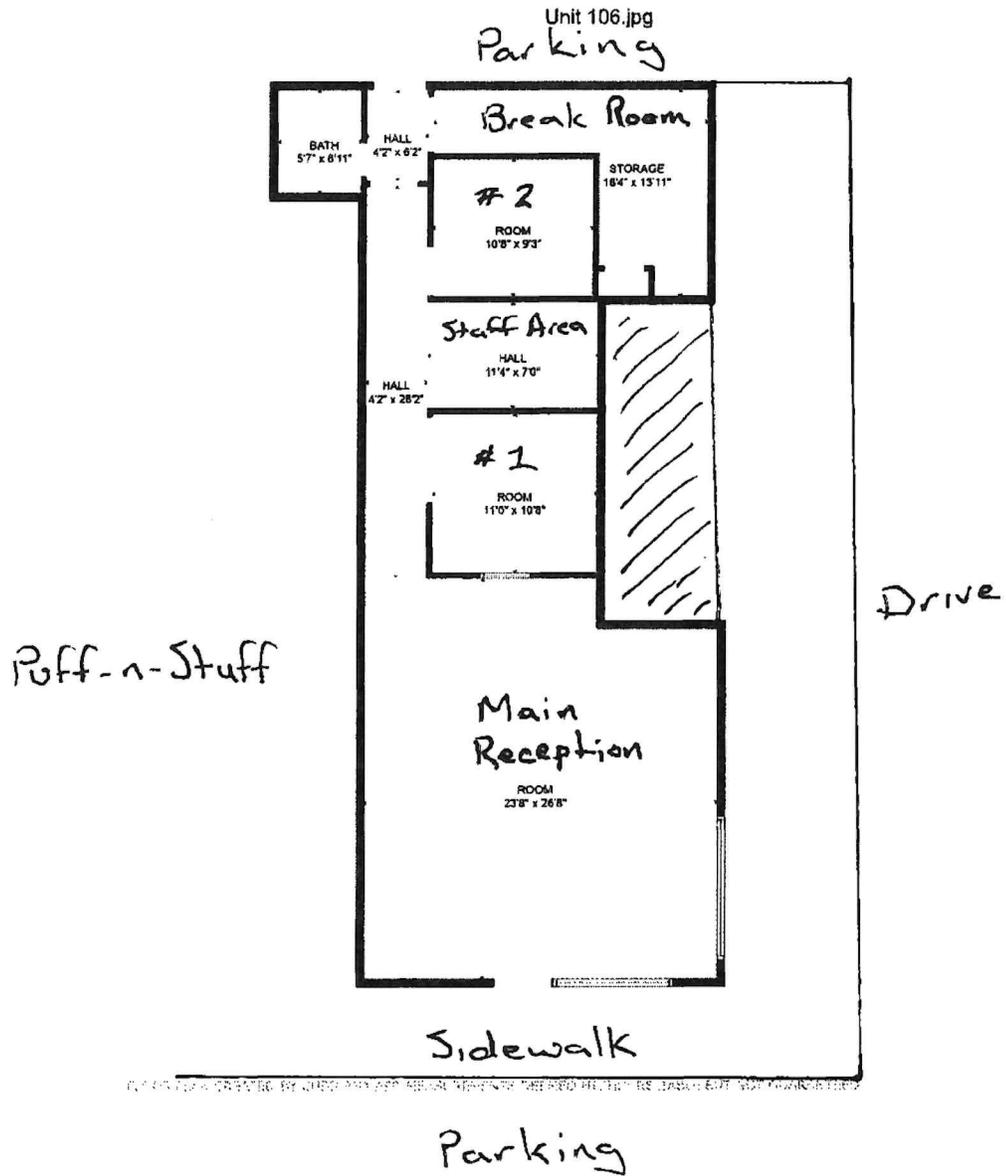
188999 =
RDB 1/20/19
A.S. Bv127

- A. 4" SCH 40 PVC
- B. BIO-MECHANICS MICROFAS™
0.5' RTU 2" 1270 GAL 2-comp.
TANK
- C. 770 GAL LIFT STATION

IMPORTANT!

- 1) NO CABLES, TV CABLES OR
SIGNALER SYSTEMS SHALL BE INSTALLED
IN THE SEPTIC SYSTEM AREA.
- 2) THE FOLLOWING MUST NOT BE CONNECTED
TO THE SEPTIC SYSTEM AND MUST BE
DISCONNECTED FROM DISCONNECTED OUT TO SEPTIC
SYSTEM: CUPBOARD, DISH DISCONNECT,
SEED FLUID, SEWER STOPPER BACKWASH,
DISCONNECTS AND AIR CONDITIONER
DISCONNECT.
- 3) SEPTIC FIELD AREA TO BE LANDSCAPED
AFTER SEPTIC SYSTEM INSTALLATION
AND PRIOR TO SEPTIC SYSTEM USE.
— ALSO —
LANDSCAPING MUST BE DONE WITHIN
CIRCLED 8' DIA. ONLY LIGHTWEIGHT
LANDSCAPING FUNCTIONS ALLOWED ON
SEPTIC FIELD OR MOUND. LANDSCAPING
ON TANK, DEEP MOLES AND REAR 2' DIA.
IS TO BE DONE BY HAND. NO CUTTING OR
STRIPPING OF MOUND ALLOWABLE.

JW TRENCHING, INC.
284074 INDUSTRIAL AVENUE
BARRINGTON, ILLINOIS 60010-2376
PHONE: 847-381-1340 FAX: 847-351-6537
SCALE: 1" = 30'



Rand Rd

To: Beth McAndrews, Administrator

From: Kenneth Garrett, Building and Zoning Official Date: January 5, 2026

RE: Special Use Application – 20370 N. Rand Road Suite 106 – Zoomo Motors

This review is for the Special Use Application located at 20370 N. Rand Road, Suite 106. The proposed use is a car dealership selling used cars only. Sales are done by appointment only and the proposal is to store up to ten vehicles on site located behind the building. The cars for sale will be in the \$5,000 - \$15,000 range. Automotive sales are allowed under the Special Use provision of the Deer Park Zoning Code.

1. The current site is existing and the building has a new owner which was acquired in the past year. The current tenants in the building currently house two tenant spaces. The majority of the building is unoccupied.

2. The required parking for the building is approximately 40 parking spaces. Petitioner is requesting that 10 spaces will be used for the storing of vehicles for sales. The total number of parking spaces on the site is 44. This will require relief of the mandatory parking spaces which in total will be 54. The petitioner shall detail how the lack of parking situation will be addressed. There are presently 44 spaces and 3 more additional spots will be striped into the parking lot. The dealership has stated that they will only need 7 spaces instead of the original 10. Which will leave 40 total parking spaces.

3. The drawings submitted did not include a floor plan of the proposed space unit 106. Provide a floor plan of the space indicating what each room is used for. A previous submission included a floor plan, but that was for a different location. Floor plan included as an attachment. Room #1 & #2 will be used as private offices, the main reception area will supplement customers arriving for their appointments.

4. The petitioner shall indicate what if any signage will be installed on the site. Signage will be uniform to the already established " Puff N Stuff" signage that is on the facade of the building.

5. The petitioner shall indicate the types of vehicles being used for sale, the condition of such vehicles, how and where vehicles are acquired from and the typical condition of the vehicles. Zomoo Motors will offer a variety of consumer passenger vehicles for sale, including gasoline and diesel. The inventory will primarily consist of sedans, SUVs, and similar passenger vehicles. No commercial trucks, heavy-duty vehicles, or recreational vehicles will be sold or stored on-site. Vehicles are acquired through established wholesale sources, primarily Manheim Auto Auction. All vehicles offered for sale are used vehicles with typical mileage ranging from approximately 50,000 to 120,000 miles. Only vehicles that are in good, running condition are purchased. Zomoo Motors does not purchase salvaged, damaged, or non-running vehicles. All vehicles that are purchased will be able to pass emission tests on the date of sale allowing prompt registration.

6. Will vehicles have any signage on them or other advertising such as but not limited to prices of vehicles or other advertising or marketing means.

Vehicles displayed on the site will not have exterior signage, pricing displays, windshield stickers, banners, flags, or other on-vehicle advertising. No additional outdoor advertising or marketing signage is proposed beyond what is permitted by applicable Village sign ordinances.

7. Petitioner shall indicate their experience with operating a dealership and what other locations they have. Indicate previous licenses with the State of Illinois and or other municipalities.

The petitioner has experience operating an automobile dealership, with an existing dealership location in Minnesota that has been operating for approximately six months. Additionally, the petitioner has prior experience working with Premium Cars LLC in Illinois for approximately one and a half years.

All required State of Illinois dealer licensing and municipal approvals will be obtained prior to commencing sales or operations at this location.

8. Petitioner shall indicate how the vehicles will be secure during off hours. This shall include security of the area and other alarm systems. (In depth explanation of statement #2 concerning parking)

Option 1: To the south of the storage building is more than a half acre (25,000 sf +/-) which could be used to safely store vehicles. There is an existing access gate to the East of the building which can be updated and a cyclone fence/concrete barriers could be added from the West edge of the building to the West edge of the property connecting to the neighbor's existing fence. This would enclose the back portion of the property. The back portion is currently gravel and we would ask for relief to not pave the portion of the lot that will be used for storing cars. In addition flood lights would be added to that area and the tenant would install security cameras.

Option 2: There will be an addition of 3 parking spaces added to the back parking lot bringing the number from 23 parking spaces to 26. This brings the overall number of parking spots to 47 spaces in the front and back. The dealership has agreed to bring down their number of storage parking spots needed from 10 to 7, leaving 40 spaces for future tenants and customers.

Additionally security cameras & flood lighting will be installed to supply the back parking lot.

9. Petitioner shall indicate in the event a car is inoperable, what steps will be taken to correct any inoperable vehicles. Repairing vehicles on site is not permitted.

Zomoo Motors purchases only operable vehicles and test-drives vehicles prior to acquisition. In the unlikely event that a vehicle becomes inoperable after purchase, no repairs will be performed on-site. Any necessary repairs will be handled by an outsourced, licensed mechanic at an off-site facility. Inoperable vehicles will be promptly towed off the property to ensure compliance with Village regulations.

10. Clarify hours of operation. The business plan indicates 9:00 am to 5:00 pm while the Traffic Pattern document indicated 9:00 am to 6:00 pm.

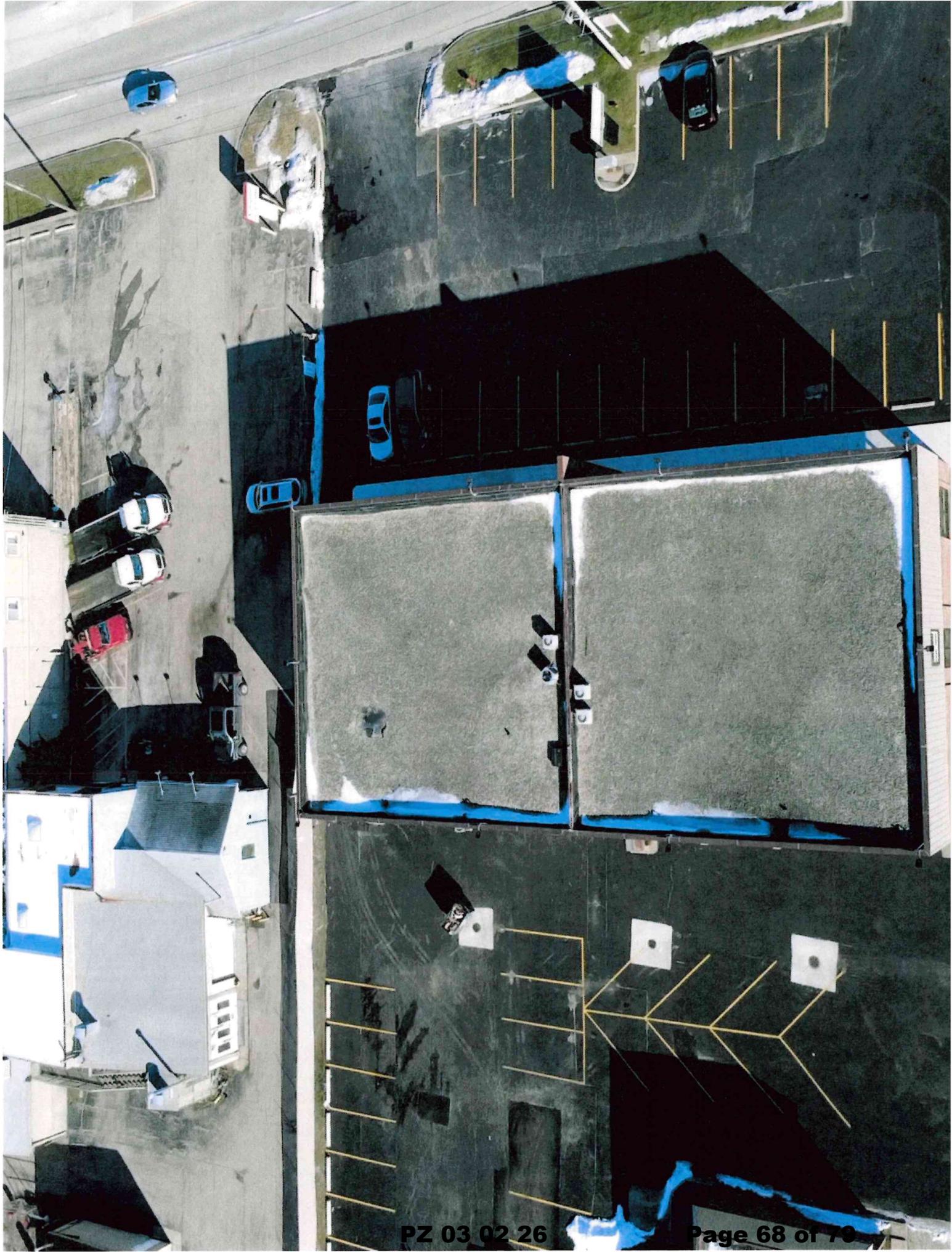
The hours of operation will be 9:00 a.m. to 5:00 p.m., Monday through Saturday. Vehicle showings are by appointment only within these hours. The Traffic Pattern documentation will be updated to reflect these hours consistently.

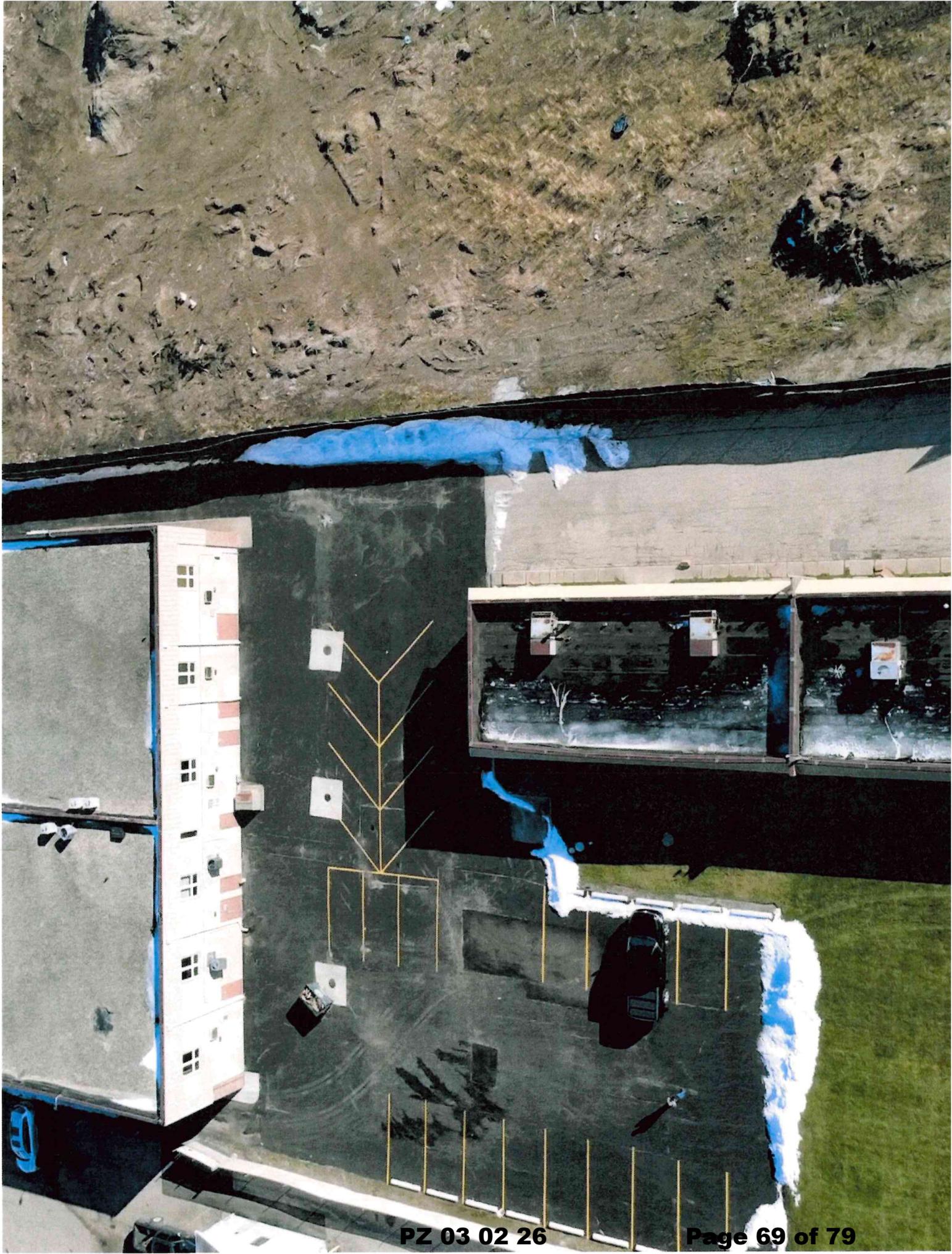
11. Provide a site plan indicating the route described in the traffic plan.

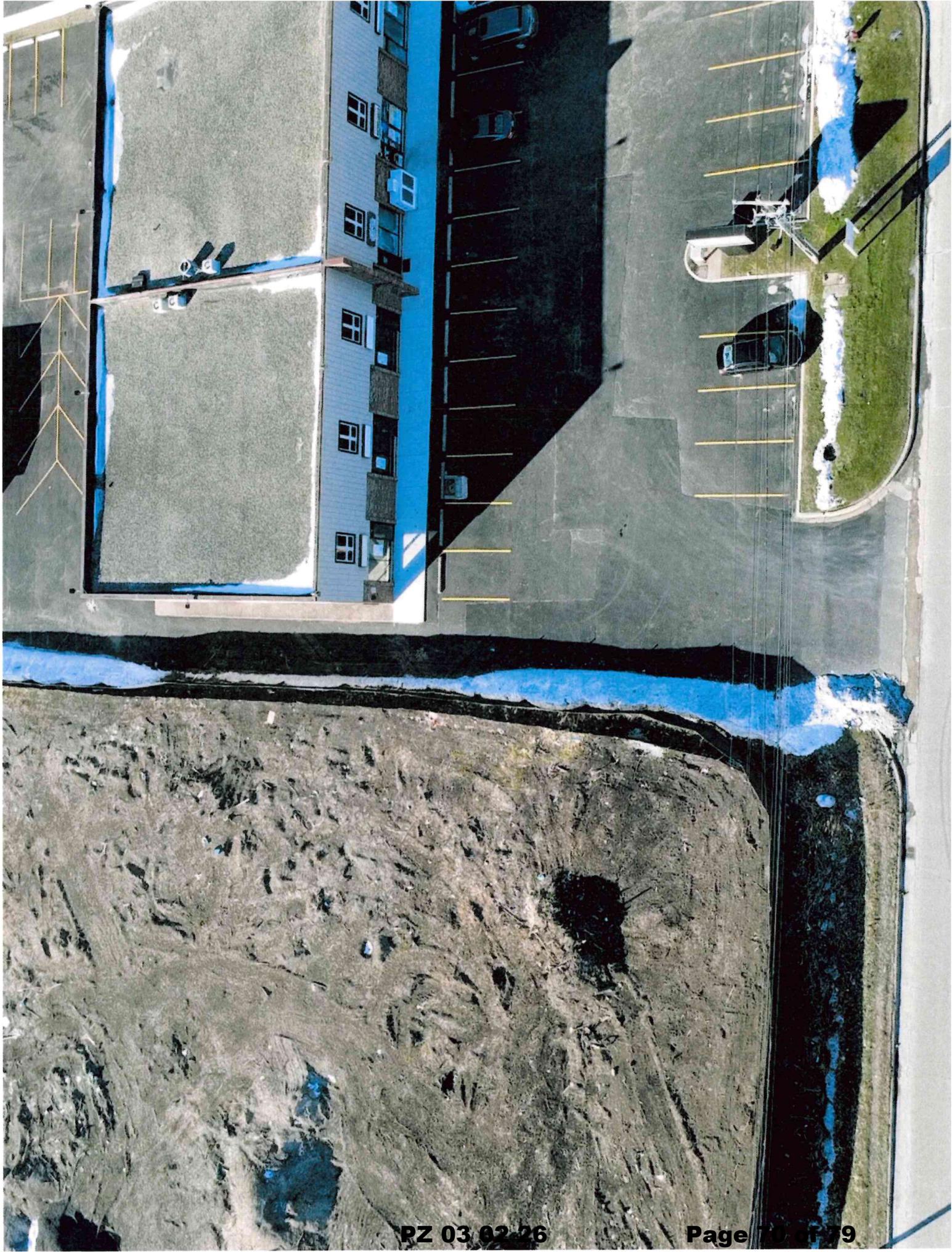
Site plan included as an attachment. Directions for the parking lot will be striped into the pavement as well as physical signage.

12. Indicate if lighting will be installed or any landscaping to the site.

In either case of how the village would like to move forward concerning storage of cars, ample lighting will be installed to satisfy the Village's standard for safety and security.







DATE: 12/12/19
 12/12/19 12:00 PM
 12/12/19 12:00 PM

Rand Road Street Access



NOTE: THIS IS A 2 COMPARTMENT TANK AND BOTH SIDES MUST BE PUMPED AT TIME OF CLEANING.

Pavement

EXISTING 1.5' DIA PVC/HDPE PIPE

Proposed Dedicated Parking Lot

106999 =
 2023 1/26/19
 A.S. 33127

- A - 4" SCH 40 PVC
- B - BIO-MECHANICAL M. MEDIA 0.5' DIA. IN 1270 GAL 2-COMP. TANK
- C - 770 GAL. LIFT STATION

IMPORTANT!

- 1) NO UTILITIES, TV CABLES OR SPRINKLER SYSTEMS SHALL BE INSTALLED IN THE SEPTIC SYSTEM AREA.
- 2) THE FOLLOWING MUST NOT BE CONNECTED TO THE SEPTIC SYSTEM AND MUST BE DIVERTED FROM DISCHARGE INTO SEPTIC SYSTEM: CURBAIN BRASH, GOLF WASH, SHIP FLUID, SLATE DRYING, BACKWASH, DEHUMIDIFIER AND AIR COOL. ATTORNER DISCHARGE.
- 3) SEPTIC FIELD AREA TO BE LANDSCAPED AFTER SEPTIC SYSTEM INSTALLATION AND PRIOR TO SEPTIC SYSTEM USE.
 - ALSO -
 LANDSCAPING MAY BE DONE WHEN GRASS IS ONLY. ONLY LIGHTWEIGHT LANDSCAPING MATERIALS ALLOWED ON SEPTIC FIELD. NO MOULD, LANDSCAPING OR TANK, DECK BOXES AND READERS. LIME IS TO BE DONE BY HAND. NO CUTTING OR STRIPPING OF MOULD ALLOWABLE.

JW TRENCHING, INC.
 284074 INDUSTRIAL AVENUE
 BARRINGTON, ILLINOIS 60010-2376
 PHONE: 847-381-1340 FAX: 847-381-6537







OFFICE & SHIPPING
2401 W. Hassell Road, Suite 1550
CORRESPONDENCE
P.O. Box 957648
Hoffman Estates, IL 60169

B&F TECHNICAL CODE SERVICES, INC.
BUILDING & FIRE PROTECTION PLAN REVIEW
TRAINING • INSPECTIONS • CODE CONSULTING

PHONE (847) 490-1443
FAX (847) 490-1476
TOLL FREE 1-800-232-5523
WEBSITE www.bftechcs.com
E-MAIL bftech@bftechcs.com

To: Beth McAndrews, Administrator
From: Kenneth Garrett, Building and Zoning Official
Date: February 17, 2026
RE: Special Use Application – 20370 N. Rand Road – Zoomo Motors

This review is for a Special Use Application located at 20370 N. Rand Road, Suite 106. The proposed use is a car dealership selling used cars only. Sales are done by appointment only and the proposal is to store up to seven vehicles on site located behind the building. The cars for sale will be in the \$5,000 - \$15,000 range. Automotive sales are allowed under the Special Use provision of the Deer Park Zoning Code.

1. The current site is existing and the building has a new owner which was acquired in the past year. The current tenants in the building currently houses a few tenants. The majority of the building is unoccupied.
2. The required parking for the building is approximately 40 parking spaces. Petitioner is requesting to utilize 7 additional parking spaces which will be used for storing of vehicles for sales. The total number of parking spaces on the site is 43. See attached modified site plan that indicates the actual spaces currently on the site. The petitioner has indicated they will provide three additional 3 spaces totaling 46, but this was with the understanding there were existing 44 spaces. The petitioner shall indicate the location of additional spaces to meet the 47 spaces needed. A detailed plan with dimensions shall be provided to the village to determine compliance of additional spaces. Based on the required spaces for this use, relief may be required.
3. The parking lot layout indicates the direction of vehicles maneuvering on the site. Compliant directional signs shall be submitted and their location shall be identified on a site plan with an elevation drawing noting its dimensions, height and material.
4. The petitioner has indicated the vehicles are purchased through established wholesale sources primarily Manheim Auto Auction. The typical vehicle has approximately 50,000 to 120,000 miles on them. All vehicles will be in good running condition. The petitioner does not purchase salvaged, damaged or non-running vehicles.
5. Vehicles will not have any signage on them or other advertising.

6. The only signage will be provided on the façade of the building in compliance with the village sign code.
7. Vehicles are marketed through on-line means.
8. Hours of operation are between the hours of 9:00 am and 5:00 pm, Monday through Saturday. The operation of this business is based on scheduled appointments. The petitioner stated customers are scheduled by appointment only. Petitioner shall clarify how appointments are handled with walk-ins.
9. The Petitioner indicated they have experience working for an existing dealership in Minnesota and working for Premium Cars LLC in Illinois for 1-1/2 years. Premium Cars LLC could not be found in the State of Illinois Business Entity Site. Clarify the experience the petitioners have. The State of Illinois requires a license to sell vehicles and this will be obtained prior to the operation taking place. The licensing has not been completed as of yet as the State of Illinois requires zoning approval first.
10. Petitioner has indicated two options for providing security. I have reposted the response below.

Option 1: To the south of the storage building is more than a half acre (25,000 sf +/-) which could be used to safely store vehicles. There is an existing access gate to the East of the building which can be updated and a cyclone fence/concrete barriers could be added from the West edge of the building to the West edge of the property connecting to the neighbor's existing fence. This would enclose the back portion of the property. The back portion is currently gravel and we would ask for relief to not pave the portion of the lot that will be used for storing cars. In addition flood lights would be added to that area and the tenant would install security cameras. Option 2: There will be an addition of 3 parking spaces added to the back parking lot bringing the number from 23 parking spaces to 26. This brings the overall number of parking spots to 47 spaces in the front and back. The dealership has agreed to bring down their number of storage parking spots needed from 10 to 7, leaving 40 spaces for future tenants and customers. Additionally security cameras & flood lighting will be installed to supply the back parking lot.

11. In the event a car becomes inoperable, the vehicle will be towed off-site and a licensed mechanic will repair the vehicle. No vehicles shall remain on the lot that is inoperable nor are repairs allowed on site.
12. The petitioner shall provide adequate lighting to maintain safety. A plan shall be submitted upon the Planning and Zoning Committee recommendation and Village Board Approval. This will be reviewed during the Building Permit Process.

Zoomo Motors

The Planning and Zoning Committee shall discuss and consider the following items in their deliberation:

- a. The experience of the operators in this business.
- b. How will this operation be different than other similar uses that already exist along the Rand Road Corridor.
- c. Is this the best use for this property?
- d. The parking requirements shall be clarified and a clear understanding of this use will not impact future businesses as it relates to parking.
- e. Any additional parking spaces added shall comply with the village code from a zoning perspective and engineering perspective. The drive aisles are very tight in some locations.
- f. The security of the site shall be identified and clarified as well as a lighting plan.
- g. The path for parking on the site shall not impact other users within the building drive. Directional signage shall be provided to the committee for review.

This shall not be taken as the only items for consideration.

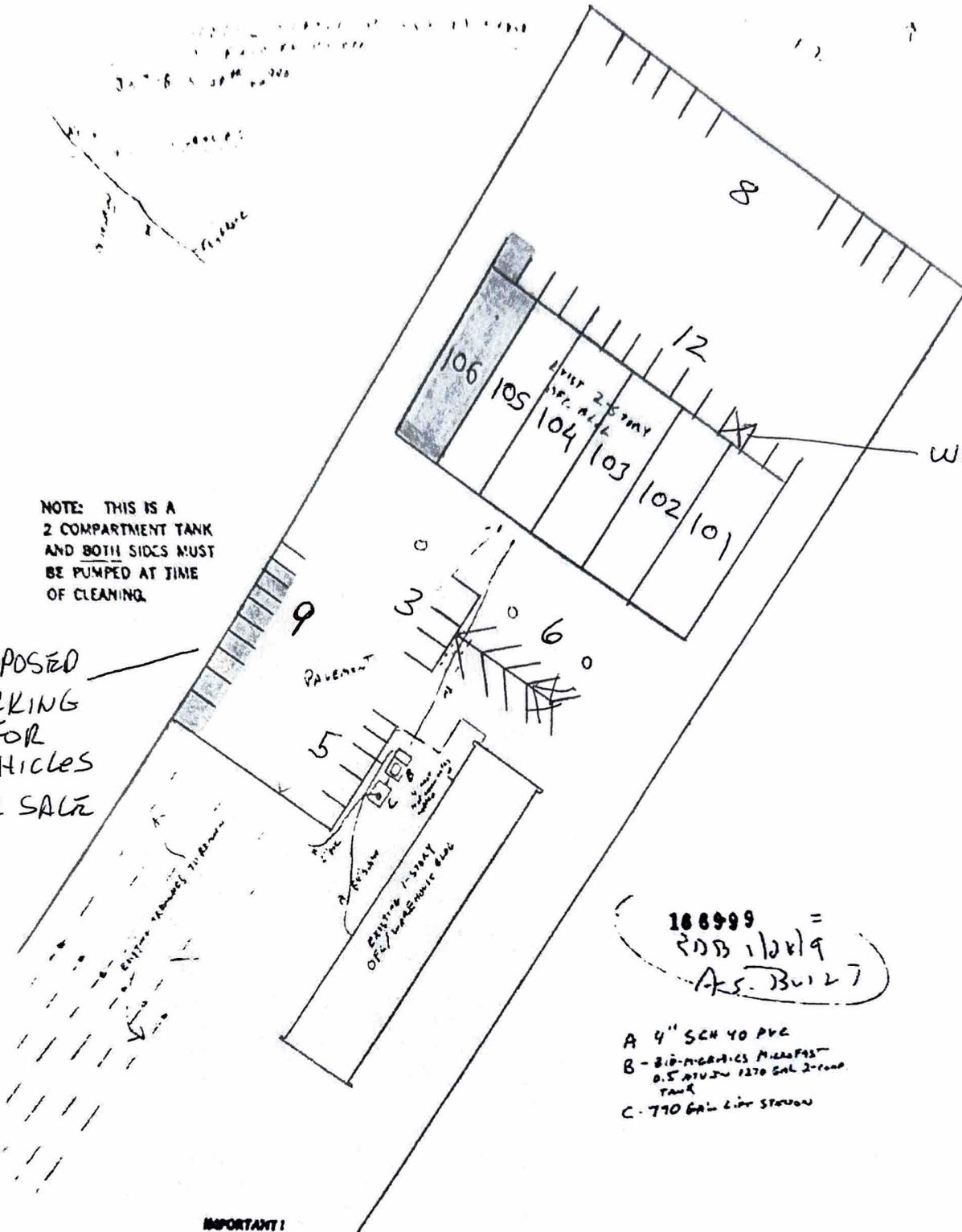
Should you have any questions regarding this report feel free to contact me at your convenience.

Respectfully Submitted,

Kenneth Garrett
Building and Zoning Official

NOTE: THIS IS A 2 COMPARTMENT TANK AND BOTH SIDES MUST BE PUMPED AT TIME OF CLEANING.

PROPOSED PARKING FOR VEHICLES FOR SALE



8
12
9
5
3
6
—
43

188999 =
R05B 1/20/19
A.S. 33127

- A - 4" SCH 40 PVC
- B - BIO-MECHANICS MICROFAST 0.5 FTU2M 1270 GAL 2-COMPT TANK
- C - 770 GAL LIFT STATION

IMPORTANT!

- 1) NO UTILITIES, TV CABLES OR SPRINKLER SYSTEMS SHALL BE INSTALLED IN THE SEPTIC SYSTEM AREA.
- 2) THE FOLLOWING MUST NOT BE CONNECTED TO THE SEPTIC SYSTEM AND MUST BE DIVERTED FROM DISCHARGING INTO SEPTIC SYSTEM: CUPBOARD DRAIN, SINKS/DISHWASHER, SUMP PUMP, WATER SOFTENER BACKWASH, DEHUMIDIFIER AND AIR CONDITIONER DISCHARGE.
- 3) SEPTIC FIELD AREA TO BE LANDSCAPED AFTER SEPTIC SYSTEM INSTALLATION AND PRIOR TO SEPTIC BEING USED. ALSO LANDSCAPING MUST BE DONE WHEN GROUND IS DRY. ONLY LIGHTWEIGHT LANDSCAPING TRACTORS ALLOWED ON SEPTIC FIELD OR MOUND. LANDSCAPING ON TANK, TRAP BOXES AND LEADER LINE IS TO BE DONE BY HAND. NO CUTTING OR STEPPING OF MOUND ALLOWABLE.

JW TRENCHING, INC.
284074 INDUSTRIAL AVENUE
BARRINGTON, ILLINOIS 60010-2376
PHONE: 847-381-1340 FAX: 847-381-6337
SCALE: 1" = 30'